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Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: SYDNEY BETHEL, PLANNER II *SB*
(480) 503-6721, SYDNEY.BETHEL@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *AM*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: JANUARY 6, 2021

SUBJECT: DR20-144, PARK LUCERO EAST

STRATEGIC INITIATIVE: Prosperous Community

Allow for the development of an industrial complex to provide employment and services to the community.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR20-144, Park Lucero East: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 36.7 acres, generally located at the northeast corner of Mustang Drive and Germann Road, and zoned Light Industrial (LI).

APPLICANT

Company: Butler Design Group
Name: Jay Irvin
Address: 5017 E. Washington St., Suite 107
Phoenix, AZ 85034
Phone: (602) 999-2923
Email: jirvin@butlerdesigngroup.com

OWNER

Company: Town of Gilbert
Name: Chris Payne
Address: 50 E. Civic Center Dr.
Gilbert, AZ 85296
Phone: (480) 503-6168
Email: Chis.payne@gilbertaz.gov

BACKGROUND/DISCUSSION

History

Date	Description
<i>March 20, 2007</i>	Town Council adopted Ordinance No.1918 annexing (A06-89) approximately 77 acres located west of the northwest corner of Lindsay and Germann Road. Town Council adopted Ordinance No.1923 zoning approximately 77 acres from Maricopa County Rural-43 (RU-43) to Town of Gilbert Light Industrial (LI) located west of the northwest corner of Lindsay and Germann Road.
<i>January 6, 2010</i>	Planning Commission approved a Conditional Use Permit (UP09-10) to allow a new 75' monopole on the subject site.
<i>December 2, 2020</i>	Planning Commission heard DR20-144, Park Lucero East as a Study Session item.

Overview

The subject site is approximately 36.7 net acres and is located just south of the 202 freeway, at the northeast corner of Mustang Drive and Germann Road. The applicant, on behalf of Trammel Crow Company, is proposing to develop an industrial site with three (3) shell buildings with a total building area of 561,000 sf. Per the applicant, the project is intended to be an extension of the previous Park Lucero development, completed by Trammel Crow in 2014, located directly west of the subject site across Mustang Drive.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Utility/Transportation Corridor (U/TC)	Public Facilities/Institutional (PF/I)	202 Freeway
South	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Germann Rd than Gilbert Crossroads Business Park
East	Light Industrial (LI)	Light Industrial (LI)	Loop 202 Business Park
West	Light Industrial (LI)	Light Industrial (LI) with PAD overlay	Park Lucero
Site	Light Industrial (LI)	Light Industrial (LI)	Temporary Helix Development (Town Owned Property)

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Building Area	-	Building A – 102,000 sf Building B – 143,000 sf Building C – 316,000 sf Total Building Area – 561,000 sf
Maximum Building Height (ft.)/(Stories)	55'/3 Stories	51'-4"/1 Story
Minimum Building Setback (ft.)		
Front	30'	109'-8"
Side (Street)	20'	94'-5"
Rear (Commercial/Office/ Public Facility/Institutional)	15'	215'
Separation Between Buildings (ft.)		
Single Story	15'	190'
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	25'
Side (Street)	20'	20'
Rear (Commercial/Office/ Public Facility/Institutional)	15'	15'
Landscaping (% of net lot area)	-	21.2%
Off-Street Parking and Loading	1 Space per 1000 sf plus 1 Space per 250 sf Office 709 Parking Spaces Required	716 Parking Spaces Provided
Bicycle Parking	1 Space per Every 10 Required Parking Spaces 71 Spaces Required	72 Spaces Provided

DISCUSSION

Site

The project fronts onto Germann Road and is bounded by Mustang Drive on the West, the existing Loop 202 Business Park on the East, and the 202 Freeway to the north. The proposed development consists of three (3) shell buildings all intended for industrial users. All proposed buildings have been designed with warehousing components such as large ceiling heights, ample docking areas, and small office areas. The proposed buildings range

in size from 102,000 sf to 316,000 sf. All three (3) buildings are located central to the site with internal access provided around the perimeters of the buildings. Between buildings A and B is a fully screened docking area for both buildings. For building C, which is located in the rear of the site, fully screened docking areas are provided on both the north and south sides of the building.

The primary point of access is provided off Germann Road with five (5) secondary access points located on the west side of the site off Mustang Drive. Riata Street is located directly east of the site, but the development does not have any access from the east off Riata Street. An existing monopole is located on the east side of the site and will not be modified or removed with this new development.

Landscape

A total of 21.2% of the net area is landscaped, which exceeds the required landscaping percentage for the site. The proposed tree palette includes a combination of Cooper's Mesquite, Native Mesquite, Palo Brea, Blue Palo Verde (street theme tree), Evergreen Elm (street theme tree), Heritage Live Oak, Bubba Desert Willow, Willow Acacia, and Ocotillo. The remaining landscaping includes a robust palette of shrubs, ground covers, and accent plants consistent with surrounding development.

The landscaping is primarily concentrated on the perimeters of the site, but landscaping is also provided internal to the site in the form of foundation landscaping around the buildings, and in a large landscape area located central to the site between buildings B and C. An employee amenity area has been located on the south side of the internal landscape area as well as on the west side of building C. A 6' wide trail with compacted DG has been provided on the northern boundary of the site and connects to the existing SanTan Trail/Central Trail on the west side of the site.

Grading and Drainage

The retention proposed is a combination of underground storage tanks as well as above ground retention basins located in the perimeter landscape areas. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

Elevations, Colors and Materials

All three (3) proposed buildings are single story and range from 42'-6" to 51'-4" (max) in height. All of the buildings will be constructed of tilt-up concrete with other textural materials, painted decorative metal accents, and fenestration. The primary base of the building is painted in a range of desert earth tones with brick and metal accent materials that have been strategically placed throughout the elevations. The overall architectural design, colors, and building materials are either the same or similar to the existing Park Lucero development that was approved in 2014. The approved elevations for this development for reference can be found in exhibit 10.

Lighting

There are three (3) lighting types proposed: parking lot, building mounted, and canopy. All parking lot lights are proposed to be 25' tall in a bronze finish. Exterior building mounted

light fixtures are proposed above the 14 ft. maximum height requirement as decorative building mounted accent lighting on the exteriors of the building. Wall-, soffit- mount, and similar exterior building light fixtures in excess of 14 feet above grade may be approved by the Design Review Board subject to additional findings of facts which have been included in Attachment 1. All site lighting will be required to comply with Town codes.

Signage

All signage shown on the plans is for reference only. Administrative Design Review for monument signs will be required prior to permitting.

PLANNING COMMISSION STUDY SESSION COMMENTS

The Planning Commission reviewed the project as a Study Session item on December 2, 2020 and had the following comments:

- The Commission inquired about the specific findings required to allow building mounted lighting above 14' and were generally supportive of the request, subject to the findings being met.
- The Commission expressed concern over the north elevations (rear) for Building C facing the freeway due to the high visibility of the elevation. It was suggested that additional architectural enhancements be added to the elevations; suggestions included additional articulation of the roofline and that additional colors and materials be applied to the elevation.
 - *The applicant modified the north elevation of Building C to address staff and the Commission's concerns by applying 2' of additional articulation to the roofline and adding decorative color blocking in a geometric design across the entire building elevation.*

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has had one (1) member of the public reach out with questions and concerns regarding the project. Their concerns and questions primarily were related to the sites access points, development of Rita Street, and environmental concerns. The correspondence between the citizen and staff can be found in Attachment 12.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR20-144, Park Lucero East: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 36.7 acres, generally located at the northeast corner of Mustang Drive and Germann Road, and zoned Light Industrial (LI), subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the January 6, 2021 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. Signage is not included in this approval. Administrative Design Review for monument signs will be required prior to permitting.

Respectfully submitted,



Sydney Bethel
Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Elevations
- 8) Colors and Materials
- 9) Floor Plans
- 10) Lighting
- 11) Applicant's Narrative
- 12) Communications from Citizens
- 13) Park Lucero (West) Elevations (For Reference Only)
- 14) Planning Commission Study Session Draft Minutes December 2, 2020

FINDINGS OF FACT DR20-144 Park Lucero East

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

The additional findings included below are specific to the exterior building light fixtures in excess of 14 feet above grade and external sign illumination.

6. The fixtures are used for the purpose of: accentuating architectural features of the building, accentuating signage, accentuating landscape or hardscape features, security, or for service areas; and
7. The fixtures are located on building elevations that do not side onto property designated for residential use in the General Plan.

PLANNING COMMISSION DATE:

Wednesday, January 6, 2021* TIME: 6:00 PM

LOCATION: Due to the impacts of the COVID-19 pandemic, all public meetings will be conducted using measures to protect public health until further notice. Please refer to the meeting agenda for methods of public participation, as permitted under Arizona state law.

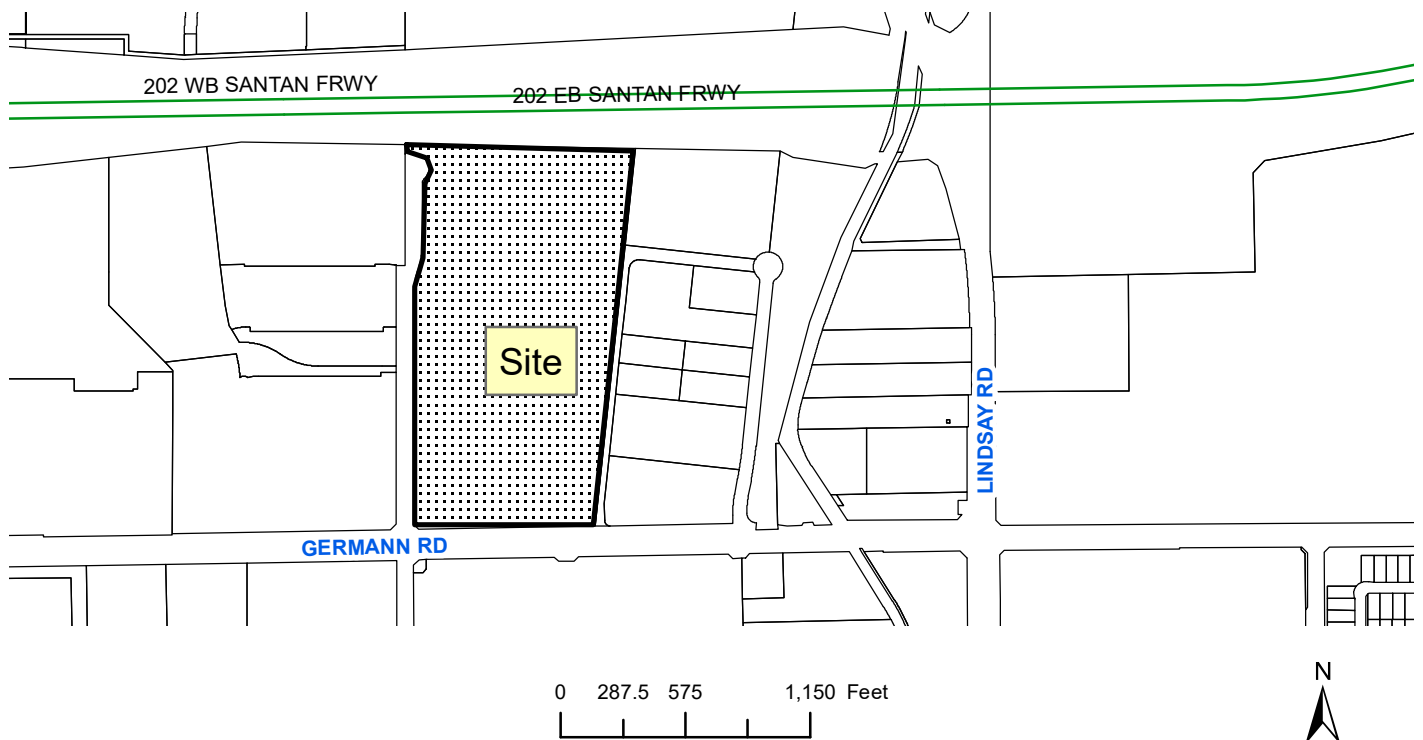
*Call Planning Division to verify date and time: (480) 503-6721

* The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission and www.gilbertdocs.com/gilbertagendaonline.

REQUESTED ACTION:

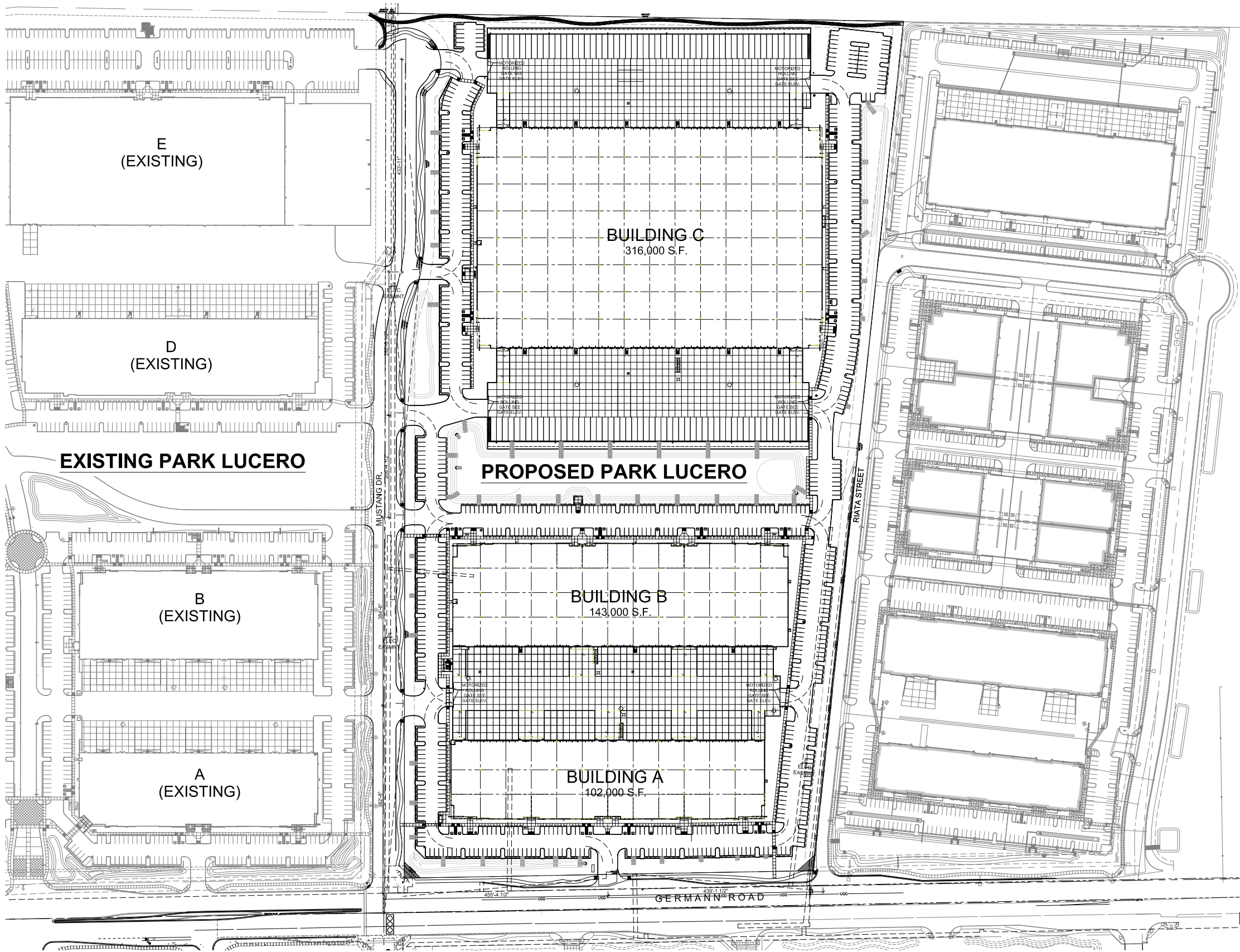
DR20-144 PARK LUCERO EAST: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 36.7 acres, generally located at the northeast corner of Mustang Drive and Germann Road, and zoned Light Industrial (LI).

SITE LOCATION:



APPLICANT: Butler Design Group
CONTACT: Jay Irvin
ADDRESS: 5017 E Washington Street, Suite 107
Phoenix, AZ 85034

TELEPHONE: (480) 999-2923
E-MAIL: jirvin@butlerdesigngroup.com



TOWN OF GILBERT

CONSTRUCTION WITHIN THE TOWN OF GILBERT SHALL COMPLY WITH THE 2012 INTERNATIONAL FIRE CODE (IFC) AS AMENDED AND ADOPTED BY FIRE CODE SUB-SECTIONS 10-37.1, 10-37.2, AND 2012 FIRE CODE INTERPRETATIONS & REGULATIONS. THE APPLICANT IS RESPONSIBLE TO IDENTIFY AND COORDINATE DEFERRED SUBMITTALS, PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, AUTOMATIC FIRE EXTINGUISHING SYSTEMS, AND STANDPIPES SHALL BE SUBMITTED TO THE PERMITTING & PLAN REVIEW DEPARTMENT FOR REVIEW AND APPROVAL. PRIOR TO INSTALLATION, A KNOX BOX IS REQUIRED AT EVERY FIRE SPRINKLER RISER ROOM, WHEN RAPID ACCESS WOULD BE COMPROMISED BY LONG TRAVEL DISTANCES. KNOX BOXES SHALL BE REQUIRED AT OTHER LOCATIONS AT THE DISCRETION OF THE FIRE OFFICIAL. REFER TO 2012 FIRE CODE INTERPRETATIONS & REGULATIONS 12-508.1 KEY BOXES, GENERAL FIRE DEPARTMENT ACCESS; APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED WITHIN GILBERT'S JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. THE ROUTE IS TO BE MEASURED AROUND THE BUILDING AS THE FIRE HOSE WOULD BE LAID AND SHALL BE APPROVED BY THE FIRE PLANS EXAMINER. APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OR 20 FEET (FOC), A MINIMUM VERTICAL CLEARANCE OF 13'6" SHALL BE PROVIDED FOR THE APPARATUS ACCESS ROADS. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND. FIRE APPARATUS TURNING RADIUS IS 35 FEET INSIDE AND 55 FEET OUTSIDE (FOC), CONTROL VALVES AND WATER FLOW SWITCHES FOR AUTOMATIC SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLER HEADS EXCEEDS 19. IFC SECTION 903.4. AN EXTERIOR FIRE SPRINKLER SYSTEM ALARM BELL SHALL BE MOUNTED ABOVE THE FIRE RISER ROOM DOOR. GENERAL FIRE ALARM REQUIREMENTS: PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE ALARM SYSTEM DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW AND APPROVAL. AS-BUILT DRAWINGS WILL BE REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS, WHEN ADDITIONAL WIRING AND DEVICES ARE ADDED TO FIRE ALARM SYSTEMS. UPDATED VOLTAGE DROP AND BATTERY CALCULATIONS WILL BE REQUIRED. FIRE ALARM REQUIREMENTS FOR NON-SEPARATED MIXED OCCUPANCIES THAT DEPEND ON OCCUPANT LOAD CRITERIA TO DETERMINE WHEN A FIRE ALARM SYSTEM IS REQUIRED SHALL USE THE TOTAL BUILDING OCCUPANT LOAD USING THE MOST RESTRICTIVE OCCUPANCY CLASSIFICATION AND EXTEND THE FIRE ALARM SYSTEM TO ALL OCCUPIED AREAS OF THAT BUILDING IN ACCORDANCE WITH APPLICABLE CODE AND STANDARD. THE FIRE ALARM REQUIREMENTS SHALL BE BASED ON THE MOST RESTRICTIVE FIRE PROTECTION SYSTEM REQUIREMENT OF IFC CHAPTER 9. ALARM INITIATING DEVICES, ALARM SIGNALING DEVICES AND OTHER FIRE ALARM SYSTEM COMPONENTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH 2012 IFC AND CURRENT NFPA REFERENCED STANDARDS. DUCT SMOKE DETECTORS THAT ARE CONCEALED FROM VIEW, INSTALLED MORE THAN 10 FEET ABOVE FINISHED FLOOR OR IN ARRANGEMENTS WHERE THE DETECTORS ALARM INDICATOR IS NOT READILY VISIBLE TO RESPONDING PERSONNEL IT SHALL HAVE A VISIBLE AND AUDIBLE SUPERVISORY SIGNALING DEVICE AT THE CEILING LEVEL OR SIGHT OBSTRUCTION AT EACH DETECTOR. DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING'S FIRE ALARM CONTROL UNIT WHEN A FIRE ALARM SYSTEM IS REQUIRED. FIRE SAFETY DURING CONSTRUCTION: AN ALL-WEATHER ACCESS ROAD DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING UP

ALL TIMES, SITES SHALL HAVE TWO POINTS OF ACCESS OR AS INDICATED AT PLAN REVIEW OR BY THE FIRE INSPECTOR. UNPAVED SURFACES SHALL HAVE A MINIMUM ABC 6" DEPTH COMPACTION TO 95% AND 20" WIDE. NO VEHICLE PARKING OR BUILDING MATERIAL OFF-LOADING ALLOWED ON THE EMERGENCY ACCESS ROAD, FIRE LAND SIGNS ARE REQUIRED TO BE POSTED ALONG THE ROAD. SIGNS SHALL BE POSTED AT EACH REQUIRED STREET ENTRANCE INDICATING EMERGENCY VEHICLE ENTRANCE, THE PROJECT NAME, THE PROJECT ADDRESS AND AN EMERGENCY CONTACT NUMBER OF A COMPANY REPRESENTATIVE. THE SIGN SHALL BE A MINIMUM OF 24" HIGH X 36" WIDE WITH WHITE REFLECTIVE BACKGROUND AND 3" RED REFLECTIVE LETTERS. ALL SITE HYDRANTS SHALL BE INSTALLED AND ACCEPTED BY THE TOWN ENGINEERING DEPARTMENT PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE CONSTRUCTION SITE. TEMPORARY DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND. FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE LOCATED ALONG THE FIRE APPARATUS ACCESS ROADWAY. FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE PROTECTED FROM VEHICULAR DAMAGE. FIRE DEPARTMENT REQUIREMENTS FOR RESIDENTIAL DEVELOPMENT: RESIDENTIAL DEVELOPMENT WITHIN THE TOWN OF GILBERT SHALL COMPLY WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE AND INTERNATIONAL FIRE CODE AS AMENDED BY THE TOWN. ALL RESIDENTIAL DEVELOPMENTS ARE REQUIRED TO MEET THE AMENDED 2012 IFC REQUIREMENTS OF PROVIDING AT LEAST TWO SEPARATE AND DISTINCT ACCESS POINTS. A SINGLE ROAD WITH A DIVIDED MEDIAN DOES NOT MEET THIS REQUIREMENT. THE MINIMUM NUMBER OF FIRE HYDRANTS SHALL NOT BE LESS THAN REQUIRED PER 2012 IFC APPENDIX B & C. FIRE HYDRANTS SHALL BE LOCATED ALONG THE ROUTE OF THE FIRE APPARATUS ACCESS ROADWAY. ADDITIONAL FIRE HYDRANTS MAY BE REQUIRED FOR ATTACHED HOMES, CLUSTER HOMES, AND PRIVATE STREETS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS. A FIRE ACCESS ROAD SHALL BE PROVIDED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE 1ST STORY IS LOCATED MORE THAN 150' FROM FIRE APPARATUS ACCESS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING. THE ROUTE OF THE FIRE APPARATUS ACCESS ROAD SHALL BE APPROVED BY THE FIRE PLANS EXAMINER. APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20 FEET (FOC), A MINIMUM VERTICAL CLEARANCE OF 13 FEET 6 INCHES SHALL BE PROVIDED FOR THE APPARATUS ACCESS ROADS. CONFIRM FIRE APPARATUS MINIMUM TURNING RADIUS OF 35 FEET INSIDE, AND 55 FEET OUTSIDE (FOC). ALL TRAFFIC CALMING DEVICES, ROUND-TURNS, TRAFFIC MEDIANS, ETC. ARE REQUIRED TO MEET THIS STANDARD. CUL-DE-SAC STREETS ARE REQUIRED TO MEET THE MINIMUM DESIGN STANDARD OF DETAIL 41. FIRE LINES SHALL BE MARKED BY SIGNS PER FIRE DEPARTMENT REGULATION 12-0103.6. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND. THE TURNAROUND MUST MEET THE FIRE APPARATUS MINIMUM TURNING RADIUS OF 35 FEET INSIDE AND 55 FEET OUTSIDE (FOC). ANY DEVIATION FROM THIS STANDARD MUST BE APPROVED BY THE FIRE CODE OFFICIAL. STREET WIDTH FOR FIRE LANE COMPLIANCE SHALL MEET THE REQUIREMENTS OF 2012 FIRE CODE INTERPRETATIONS & REGULATIONS 12-0103.6 FIRE LANES: LESS THAN 26' (FOC) WILL REQUIRE "NO PARKING BOTH SIDES"; 26' TO LESS THAN 32' WILL REQUIRE "NO PARKING ONE SIDE"; 32' OR GREATER, PARKING BOTH SIDES ALLOWED, NO STREET WILL BE LESS THAN 20' WIDE (FOC). ALL TRAFFIC CALMING DEVICES, ROUND-TURNS, TRAFFIC MEDIANS, ETC. ARE REQUIRED TO MEET THE REQUIREMENTS OF 2012 IFC APPENDIX D. BI DIRECTIONAL AMPLIFICATION FOR EMERGENCY RESPONDER RADIO COVERAGE WILL BE REQUIRED PER THE 2018 INTERNATIONAL FIRE CODE SECTION 510 AND LOCAL AMENDMENT. PLEASE CLARIFY REQUIREMENT ON PLANS.

PROJECT NARRATIVE

THIS PROJECT WILL CONSIST OF A TOTAL OF THREE INDUSTRIAL BUILDINGS AND ASSOCIATED SITE WORK DEVELOPED BY TRAMMELL CROW COMPANY. THE PROJECT IS INTENDED TO BE AN EXTENSION OF THE PREVIOUS PARK LUCERO PHASES COMPLETED ACROSS MUSTANG DRIVE. THE GOAL IS TO CREATE A SIMILAR ARCHITECTURE MATCHING THE FEATURES FROM THE PREVIOUS PROJECT WITH THE SAME COLORS, ARCHITECTURE, AND STYLE. THE PROJECT FRONTS GERMANN ROAD AND CONSIST OF PREDOMINANTLY DRIVE-IN SERVICE DOORS AND DOCK-HIGH SERVICE DOORS FOR TRUCKING. THE SITE WILL UTILIZE LANDSCAPE BEIRING AS WELL AS SCREEN WALLS TO BLOCK VIEWS OF TRUCK COURTS AND PARKING. BUILDING A AND B ARE DESIGNED AS REAR LOADING DOCK H BUILDINGS AND THEIR DOCKS SHARE A YARD FACING ONE ANOTHER. THE ROOF DRAINAGE FOR THESE BUILDINGS HAVE BEEN INTERNALIZED TO WORK WITH THE SITE DRAINAGE TO THE NORTH AND COMPLIMENT EACH OTHER ARCHITECTURALLY. BUILDING C IS A LARGER CROSS-DOCK BUILDING THAT MATCHES MUCH OF THE FEATURES OF ALL THE REARLOAD BUILDINGS IN THE PREVIOUS PARK LUCERO PROJECT. THE ROOF DRAINAGE FOR THE PROJECT CONTINUED THE ARCHITECTURAL DOWNSPOUT THEME THAT WAS PROVIDED ON THE ORIGINAL PARK LUCERO PROJECT TO GIVE THE BUILDING ARCHITECTURE MORE COLOR AND RELIEF. THE SITE HAS BEEN PROVIDED THE MINIMUM LANDSCAPING THAT AGAIN FALLS IN LINE WITH WHAT WAS DONE BEFORE ON THE SISTER PROJECT ACROSS MUSTANG. AMENITY AREA HAVE BEEN PROVIDED FOR EACH BUILDING THAT ARE COMPLIMENTARY TO WHAT WAS PREVIOUSLY DONE. ALL OF THE BUILDINGS WILL BE CONSTRUCTED OF TILT-UP CONCRETE WITH OTHER TEXTURAL MATERIALS, PAINTED DECORATIVE METAL ACCENTS, AND FENESTRATION. ROOFTOP MECHANICAL UNITS ARE FUTURE AND WILL BE FULLY SCREENED BY THE BUILDING PARAPETS FROM SIGHT. THE ROOF STRUCTURE WILL BE A PANELIZED ROOF SYSTEM.

VICINITY MAP



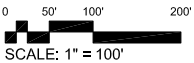
DESIGN REVIEW SUBMITTAL
PRE-AP #PLA-2020-00042

2020.12.14
20004-ST10



Butler Design Group, Inc.
architects & planners

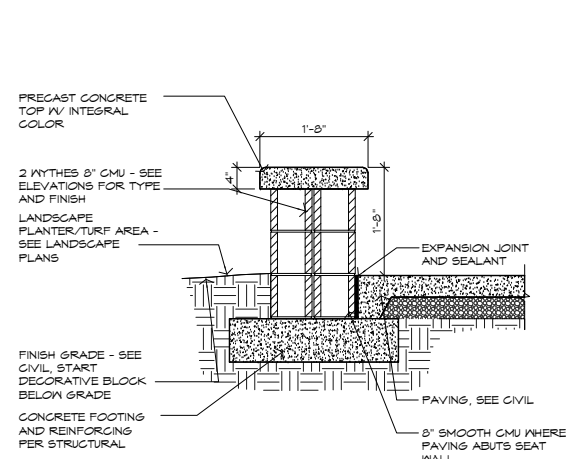
1 OVERALL SITE PLAN (SEE ENLARGED SITE PLAN)
1" = 60'-0"



PARK LUCERO EAST

GERMANN ROAD
GILBERT, AZ

Trammell Crow Company



SECTION

WATERPROOFING ON RETAINING WALLS, EXTEND 2" ABOVE GRADE AND PAINT IN U.V. PROTECTOR COLOR TO MATCH INTEGRAL COLOR

9'-0" MIN.

PAINTED SINTO46 "ANONYMOUS"

3'-0" MIN.

LONG. FOOTING

INDICATES COURSE MATCH LINE

NOTES:

1. 1'-0" IS DETERMINED BY ADJACENT PARKING GRADE. MAINTAIN SCREEN MALL @ 3'-0" ABOVE ADJ. GRADE.

ELEVATION

VARIES SEE SITE PLAN

SMOOTH FACE CMU

4" SPLIT FACE CAP

8" SPLIT FACE

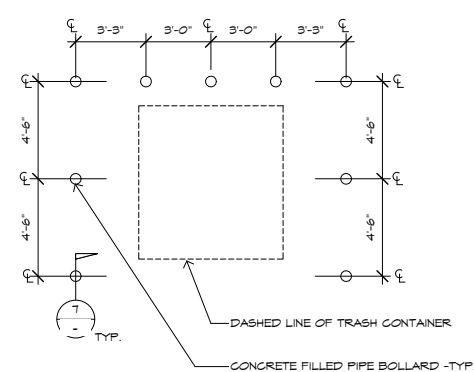
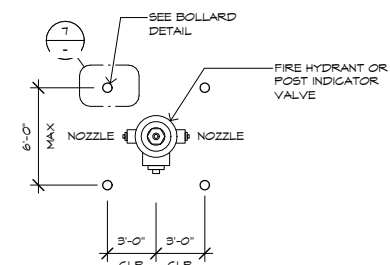
VARIES SEE SITE PLAN

PLAN

1'-4"

1'-4"

Architectural section drawing of a wall and floor assembly. The wall is labeled "CMU SEAT WALL". The floor assembly includes a concrete slab (8'-0" thick), a 4'-0" thick layer, and a 7'-0" thick layer. A circular detail shows a cross-section of a pipe or duct with a diameter of 5'-0".



12'-0"

1'-6" 3'-0" 3'-0" 3'-0" 1'-6"

6'-0"

1'-9"

2'-6"

1'-9"

1/2" x 1 1/2" DIE FORMED GALVANIZED U' STYLE BICYCLE RACK

CJ. / EDGE OF CONC.

- SEE SITE PLAN

Technical drawing of a light pole section showing vertical dimensions and components. The drawing includes a vertical pole with a light fixture at the top and a base. Dimensions are indicated on the left side, and components are labeled on the right side.

Dimensions (Left Side):

- Overall height: 25'-0" MAX.
- Base height: 8" (L.S. AREAS)
- Auto parking area: 2'-6" (AUTO PARKING)
- Truck areas: 4'-0" (TRUCK AREAS)
- Details: DETAIL - A, DETAIL - B, DETAIL - C
- SEE STRUCT. (multiple locations)

Labels (Right Side):

- SHIELDED LIGHT FIXTURE, SEE ELEC.
- "CLEAR ANODIZED" FACTORY FINISH LIGHT POLE AND FIXTURE W/ BASE PLATE AND COVER
- BASE PLATE AND ANCHOR BOLTS BY MANUFACTURER
- CHAMFER EDGE
- CONG. BASE TO BE "GRAY FINISH SACK-RUB"
- PAVING OR GRADE AS OCCURS SEE CIVIL
- SEE STRUCT. FOR REINFORCING REQUIREMENTS
- REFER TO SITE PLAN FOR LIGHT POLE LOCATIONS.

Section Labels:

- DETAIL - A
- DETAIL - B
- DETAIL - C
- SEE STRUCT.

Technical drawing showing the cross-section of a bicycle rack installation. The drawing includes the following dimensions and components:

- Dimensions:**
 - Overall width: 2'-1 1/2"
 - Overall height: 3'-0"
 - Top section height: 1'-2"
 - Bottom section height: 2'-0"
 - Top section width: 1'-2"
 - Bottom section width: 6"
- Components:**
 - 1/2" x 1 1/2" DIE FORMED GALVANIZED V' STYLE BICYCLE RACK
 - FINISHED GRADE (SURFACE AS REQUIRED)
 - METAL ANCHORING PINS
 - CONCRETE FOOTING
 - COMPACT SUBGRADE

NOTE: MAINTAIN PROPER DRAINAGE AWAY FROM BIKE RACK.

Diagram illustrating the cross-section of a light pole base, showing dimensions and construction details:

- DETAIL - A**: 8" L.S. AREAS
- DETAIL - B**: 2'-6" AUTO PARKING
- DETAIL - C**: 4'-0" TRUCK AREAS
- SEE STRUCT.**: Vertical dimension on the left side.
- SEE STRUCT.**: Horizontal dimension at the bottom.
- CONC. BASE TO BE "GRAY FINISH SACK-RUB"**: Concrete base material.
- BASE PLATE AND ANCHOR BOLTS BY MANUFACTURER**: Top mounting hardware.
- CHAMFER EDGE**: Beveled edge of the concrete base.
- PAVING OR GRADE AS OCCURS SEE CIVIL**: Ground surface level.
- SEE STRUCT. FOR REINFORCING REQUIREMENTS**: Reference to structural reinforcement details.
- REFER TO SITE PLAN FOR LIGHT POLE LOCATIONS.**: Reference to site plan for pole placement.

LIGHT POLE SECTION

[illegible]

6'-0"

PAINT YELLOW

6" DIA. CONG. FILLED STEEL PIPE PAINTED EXTERIOR

FINISH FLOOR

3'-0"

FINISH GRADE OR PAVING

6"

7 PIPE BOLLARD DETAIL TYP.
SCALE: 1/2" = 1'-0"















PARK LUCERO EAST


















GERMANN ROAD
GILBERT, AZ



LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED)

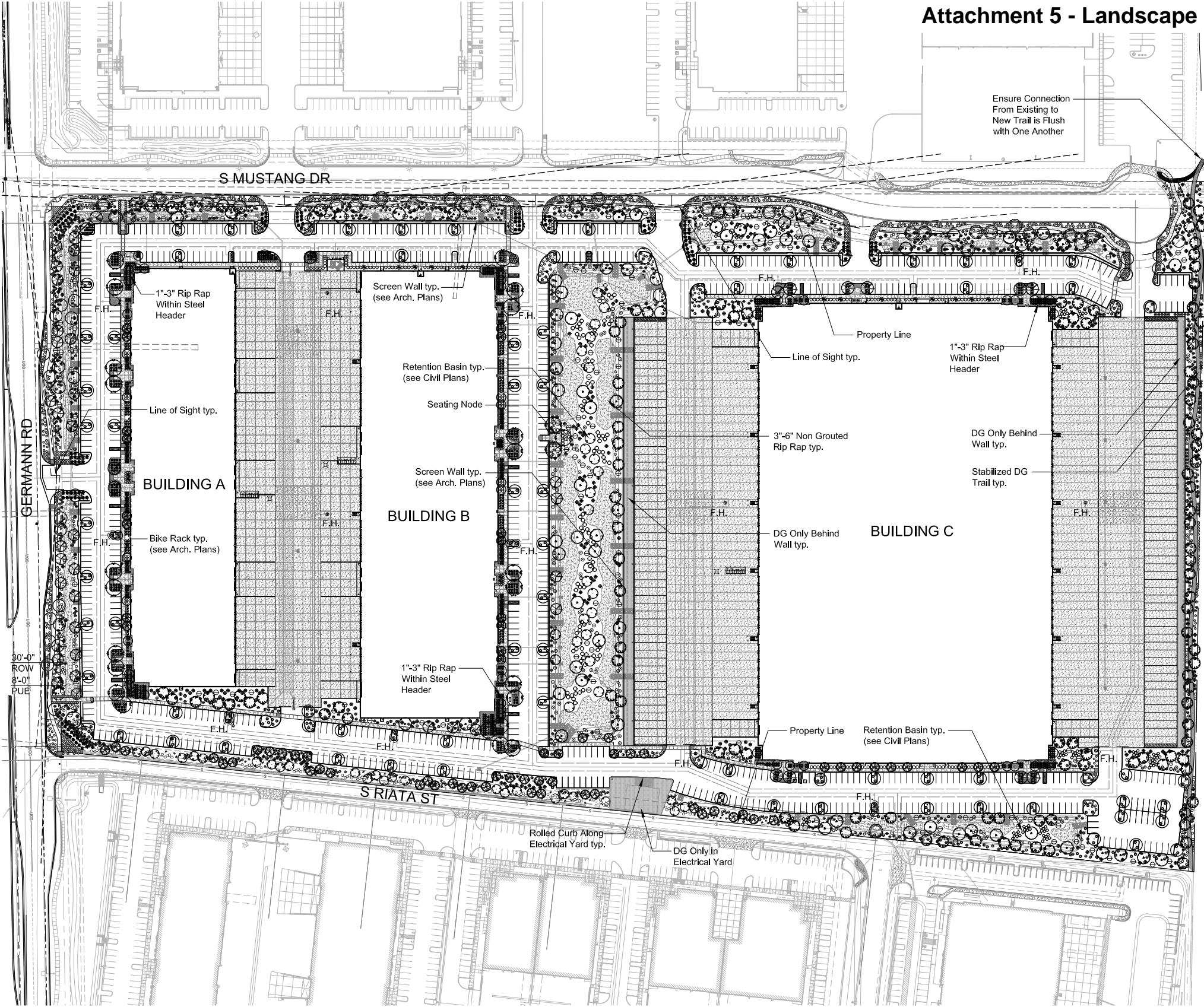
TREES		SIZE	QTY
	Prosopis alba 'Cooperi' Thornless Cooper's Mesquite	36" Box Standard	35
	Prosopis velutina Native Mesquite	24" Box Multi Trunk	72
	Parkinsonia praecox Palo Brea	24" Box Standard	85
	Parkinsonia florida Blue Palo Verde	24" Box Multi Trunk	31
	Ulmus parviflora Evergreen Elm	24" Box Standard	19
	Quercus virginiana Heritage Live Oak	24" Box Standard	36
	Caesalpinia mexicana Mexican Bird of Paradise	36" Box Multi Trunk	57
	Chilopsis linearis 'Bubba' SRP Approved Bubba Desert Willow	24" Box Multi Trunk	50
	Acacia salicina Willow Acacia	24" Box Standard	110
	Fouquieria splendens Ocotillo	10' Tall 8 Canes	56
	Acacia aneura Mulga Tree - SRP Approved	24" Box	69
	Parkinsonia x 'Desert Museum' Desert Museum	36" Box	23

SHRUBS / ACCENTS	SIZE	QTY
 Bougainvillea 'Torch Glow' Torch Glow	5 gallon	215
 Hesperaloe funifera Giant Yucca	5 gallon	68
 Leucophyllum frutescens 'Compacta' Compact Texas Sage	5 gallon	374
 Tecoma x 'Sparky' PPAF Sparky Tecoma Hybrid	5 gallon	445
 Caesalpinia mexicana Mexican Bird of Paradise	5 gallon	127
 Callistemon viminalis 'Little John' Little John Dwarf Bottlebrush	5 gallon	750
 Yucca rupicola - SRP Approved Twisted Leaf Yucca	5 gallon	85
 Olea europaea 'Little Ollie' Dwarf Olive	5 gallon	312
 Agave americana 'Variegata' Variegated Century Agave	5 gallon	128
 Dodonaea viscosa 'Green' Green Hop Bush	5 gallon	170
 Dasylirion wheeleri Desert Spoon	5 gallon	142
 Hesperaloe parviflora Yellow Yucca	5 gallon	334
 Eremophila hygrophana Blue Bell Emu	5 gallon	461
 Convolvulus cneorum Bush Morning Glory	5 gallon	502
 Encelia farinosa - SRP Approved Brittle Bush	5 gallon	147
 Verbena rigida - SRP Approved Purple Verbena	5 gallon	72
 Acacia redolens Desert Carpet	5 gallon	241

GROUND-COVERS	SIZE	QTY
 Lantana montevidensis New Gold / Purple (50/50 Mixture)	5 gallon	459
 Eremophila glabra 'Mingnew Gold' Outback Sunrise Emu	5 gallon	735
 1"-3" Rip Rap Rock Pros Ash 4" Min Depth Where Noted on Plans		
 Decomposed Granite - 3/4" Screened Express Rose 2" Min Thickness in All Landscape Areas		
 Grouted Rip-Rap - 3" to 6" Express Rose 3" Min Thickness in All Landscape Areas		
 Non Grouted Rip-Rap - 3" to 6" Express Rose 3" Min Thickness in All Landscape Areas		
 Decomposed Granite - 3/4" Screened Express Rose 2" min thickness in all noted areas.		
 Decomposed Granite - Stabilized 1/4" Minus Express Rose 3" min thickness; 90% Compaction Stabilizer Solutions Mix 100% Natural to be Used (Soil Binder)		

3/16" x 6" Metal Header / Secure Every 48" with mtl stake.

Submit Samples of ALL Inert Material to Landscape Architect



GENERAL BUILDING FOUNDATION / IRRIGATION NOTES:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

TrammellCrowCompany

PARK LUCERO EAST
GERMANN ROAD
GILBERT, AZ

DR20-144 Park Lucero East
Attachment 5 - Landscape

PROJECT DATA

SITE & BUILDING DATA

EXISTING ZONE:	LI (LIGHT INDUSTRIAL)
PARCEL NUMBER:	304-55-011R
PUC:	9720
SECTION:	6
TOWNSHIP:	2S
RANGE:	6E
PROPOSED BUILDING HEIGHT (AT RIDGE)	TBD
CONSTRUCTION TYPE:	V-B (NON-RATED)
OCCUPANCY:	S-1:S-2 W/ ACCESSORY B
BUILDING S.F.:	
BUILDING A:	102,000 S.F.
BUILDING B:	143,000 S.F.
BUILDING C:	316,000 S.F.
	561,000 S.F. TOTAL

NET SITE:	1,596,982 S.F. (36.7 AC)
GROSS SITE:	1,694,264 S.F. (38.9 AC)
LOT COVERAGE:	35.1%

ALLOWABLE HEIGHT: 55' / 3 STORIES

PROJECT TEAM

Developer/Owner

Trammell Crow Company
2231 East Camelback Road, Ste 102
Phoenix, Arizona 85016
Contact: Collin Weisenburger
cweisenburger@trammellcrow.com
Ph: (602) 285-3102

Architect

Butler Design Group, Inc.
5017 E. Washington St. Ste 107
Phoenix, Arizona 85034
Contact: Jay Irvin
jirvin@butlerdesigngroup.com
Ph: (602) 957-1800

Civil Engineer

Hunter Engineering
10450 N 74th St #200
Scottsdale, AZ 85258
Contact: Brian Schiltz
bschiltz@hunterengineering.com
Ph: (480) 991-3985

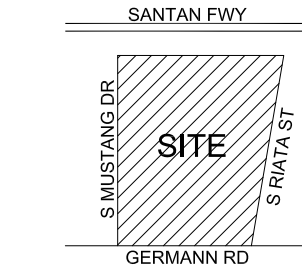
Landscape Architect

Laskin & Associates
67 E. Weldon Ave. Ste 230
Phoenix, Arizona 85012
Contact: Stanley Berinson
stanley@laskindesign.com
Ph: (602) 840-7771

PRELIMINARY LANDSCAPE PLAN

GENERAL NOTES:

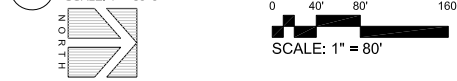
- THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH CITY OF GILBERT STANDARDS.
- ALL TREES WILL BE 15 GALLON OR LARGER.
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.
- DECOMPOSED GRANITE, 2" MINIMUM THICKNESS, TO BE PLACED IN ALL LANDSCAPE AREAS NOT DESIGNATED FOR RIP-RAP OR LAWN.
- ALL EARTHWORK WILL BE DONE SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS, STRUCTURES AND WILL NOT IMPEDE NATURAL DRAINAGE EASEMENTS.
- STRUCTURES AND LANDSCAPING WITHIN A SIGHT VISIBILITY TRIANGLE OR SIGHT VISIBILITY LINE WILL NOT EXCEED 24" INCHES.
- FINAL LANDSCAPE PLANS TO MEET OR EXCEED MINIMUM CITY STANDARDS.



VM VICINITY MAP
NOT TO SCALE



DR PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 80'-0"



LANDSCAPE DATA

Total Landscape Area On Site: +/- 334,817 SF (7.68 acres)
Total Landscape Area Off Site: +/- 24,547 SF (.56 acres)
Total Landscape Area: +/- 359,364 SF (8.25 acres)
Total Landscape Coverage 21.2%: +/- 359,364 SF



Butler Design Group, Inc
architects & planners

12.2020
20004-ST12

CONCEPTUAL CIVIL PLANS
FOR
PARK LUCERO EAST
NEC GERMANN ROAD MUSTANG DRIVE
GILBERT, ARIZONA

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGAL DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A MARICOPA COUNTY ENGINEERING DEPARTMENT BRASS CAP IN HANDHOLE MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 6, FROM WHICH A BRASS CAP SET FLUSH MARKING THE NORTH QUARTER CORNER OF SAID SECTION 6 BEARS NORTH 00°04'11" EAST, A DISTANCE OF 5268.79 FEET;
THENCE NORTH 00°04'11" EAST, ALONG THE MID SECTION LINE OF SAID SECTION 6, A DISTANCE OF 95.79 FEET;
THENCE SOUTH 89°59'49" EAST, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING;
THENCE NORTH 00°04'11" EAST, A DISTANCE OF 1046.13 FEET TO A POINT OF CURVATURE, CONCAVE SOUTHEASTERLY, WHOSE RADIUS IS 360.00 FEET AND WHOSE CHORD BEARS NORTH 09°07'57" EAST A CHORD DISTANCE OF 114.28 FEET;
THENCE NORTHEASTERLY ALONG SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 18°15'53" AN ARC LENGTH OF 114.76 FEET TO A POINT OF REVERSE CURVATURE, CONCAVE NORTHWESTERLY WHOSE RADIUS IS 440.00 FEET;
THENCE NORTHERLY ALONG SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 18°15'53" AN ARC LENGTH OF 140.26 FEET;
THENCE NORTH 00°04'11" EAST, A DISTANCE OF 272.30 FEET TO A POINT OF CURVATURE, CONCAVE SOUTHEASTERLY, WHOSE RADIUS IS 17.50 FEET AND WHOSE CHORD BEARS NORTH 25°12'51" EAST A CHORD DISTANCE OF 14.87 FEET;
THENCE NORTHEASTERLY ALONG SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 50°17'35" AN ARC LENGTH OF 15.36 FEET TO A POINT OF REVERSE CURVATURE, CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 72.50 FEET;
THENCE NORTHWESTERLY ALONG SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 173°46'35" AN ARC LENGTH OF 219.89 FEET;
THENCE NORTH 00°04'11" EAST, A DISTANCE OF 41.97 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF STATE ROUTE 202;
THENCE SOUTH 89°06'34" EAST, ALONG SAID SOUTH RIGHT OF WAY, A DISTANCE OF 0.23 FEET;
THENCE SOUTH 89°05'44" EAST, ALONG SAID SOUTH RIGHT OF WAY, A DISTANCE OF 1056.84 FEET;
THENCE SOUTH 06°03'17" WEST, ALONG THE EAST LINE OF THAT PROPERTY AS DESCRIBED IN DOCUMENT 2008-154332, RECORDS OF MARICOPA COUNTY RECORDER, A DISTANCE OF 1743.68 FEET TO A POINT ON A LINE PARALLEL WITH AND 70.00 FEET NORTH OF THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6;
THENCE SOUTH 88°57'14" WEST, ALONG SAID PARALLEL LINE, A DISTANCE FEET OF 810.30;
THENCE NORTH 45°29'31" WEST A DISTANCE OF 35.01 FEET TO THE POINT OF BEGINNING.

FEMA FLOOD ZONE

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 2743M & 04013C 2744M (EFFECTIVE REVISED DATE NOVEMBER 4, 2015), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X

ZONE: X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

SHEET INDEX

CONCEPTUAL COVER SHEET C1
CONCEPT GRADING & DRAINAGE PLAN C2-C3
CONCEPT UTILITY PLAN C4-C5
CONCEPTUAL TYPICAL SECTIONS C6

LEGEND

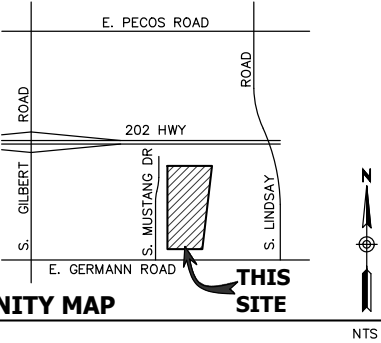
CENTERLINE	---	FLOWLINE	---
RIGHT OF WAY	---	GRADE BREAK	---
PROPERTY LINE	---	CONTOUR	---
EASEMENT	---	STORM PIPE	---
PROPOSED FLOW ARROW	←	CATCH BASIN	---
EXISTING FLOW ARROW	←	CATCH BASIN	---
PROPOSED SPOT ELEVATION	35.30P	DRYWELL PLUS	---

BASIS OF BEARING

BASIS OF BEARING FOR THIS SURVEY IS A BEARING OF NORTH 00°04'11" EAST, ALONG THE MID SECTION LINE OF SAID SECTION 6, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO THE TITLE INSURANCE ISSUED BY THOMAS TITLE AND ESCROW AGENCY, ISSUING OFFICE FILE NUMBER: 5252TAZ, EFFECTIVE DATE: FEBRUARY 14, 2020, 05:00 PM

BENCHMARK

FD 4" MC ENG DEPT BC IN HH 0.9" DN NO STAMPING NOTE- FOUND AT THE INTERSECTION OF MUSTANG ROAD AND GERMANN ROAD, ALSO BEING THE SOUTH QUARTER CORNER SECTION 6, T.2S.,R.6E ELEVATION=1254.265 (NAV88 DATUM)



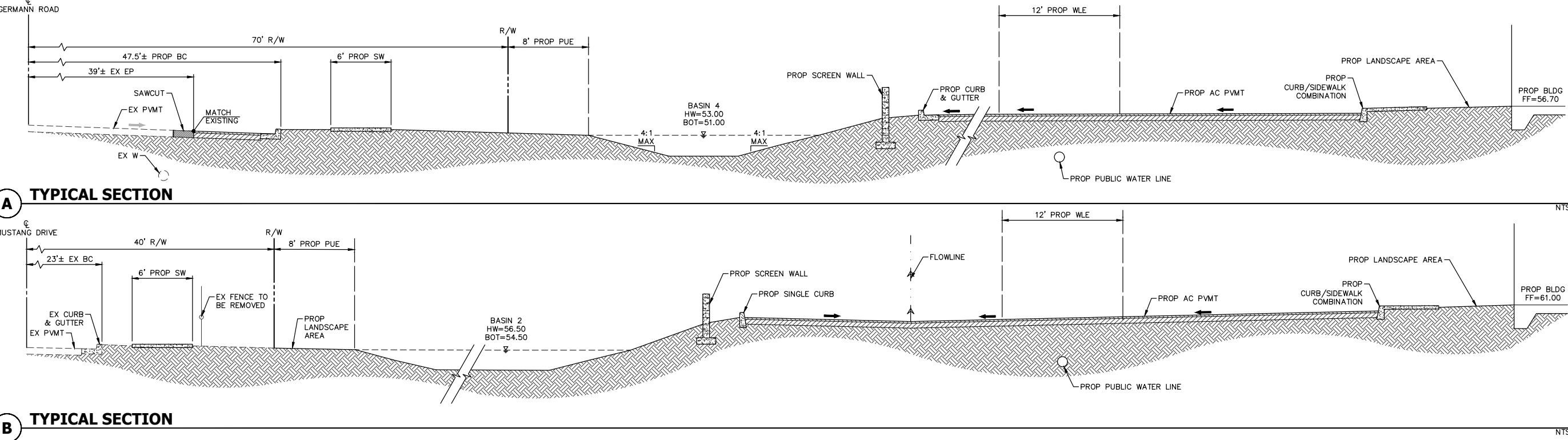
VICINITY MAP

NET AREA: 36.67 AC
GROSS AREA: 39.74± AC

RETENTION CALCULATIONS

GROSS AREA: 39.74 AC
RETENTION REQUIRED (50YR-24HR EVENT):
VR=(C)*(D/12)*(A), D=3-INCHES
VR=C*(D/12)*A=0.88*(3"/12)*(39.74*43,560)=380,836 CF
TOTAL REQUIRED =380,836 CF

RETENTION PROVIDED:
BASIN 1. 16,158 CF
BASIN 2. 13,798 CF
BASIN 3. 243,864 CF
BASIN 4. 9,883 CF
1,258 LF 120" UGR, 98,803 CF
TOTAL PROVIDED. 382,506 CF
TOTAL REQUIRED. 380,836 CF
TOTAL EXCESS. 1,670 CF



NO.	DATE	REVISION	BY

DESIGN BY: BKS
DRAWN BY: MM
CHECKED BY: BKS

HUNTER ENGINEERING CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE #200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



CONCEPTUAL COVER SHEET
FOR
PARK LUCERO EAST
NEC GERMANN ROAD MUSTANG DRIVE
GILBERT, ARIZONA

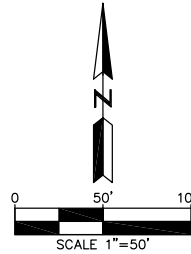
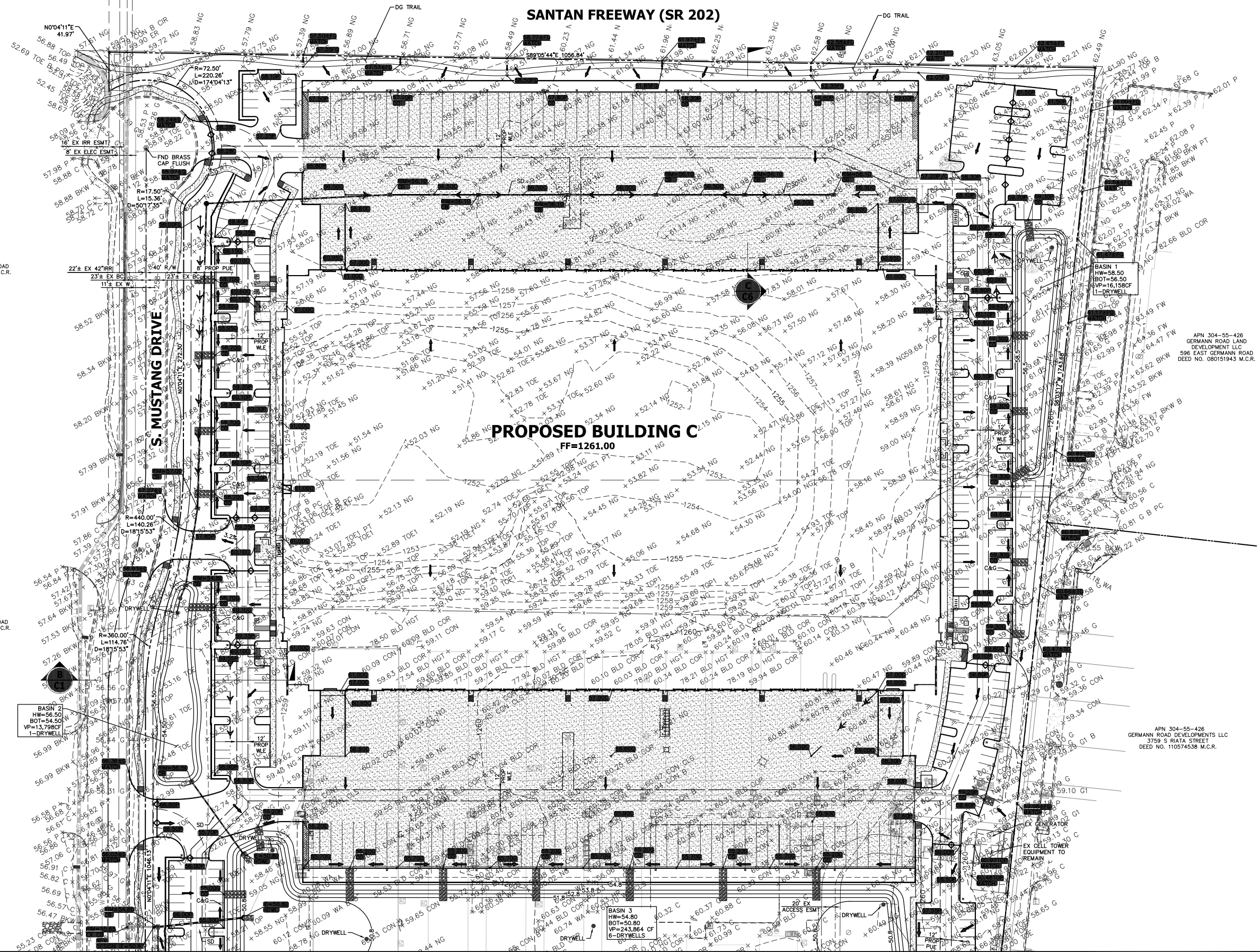


THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

PROJECT NAME: PARK LUCERO EAST

HE NO.: TREM003
SCALE: NTS

SHEET: C1



NO.	DATE	REVISION	BY

DESIGN BY: BKS
DRAWN BY: MM
CHECKED BY: BKS

CIVIL AND SURVEY
HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



**CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
PARK LUCERO EAST
NEC GERMANN ROAD MUSTANG DRIVE
GILBERT, ARIZONA**

CONTACT ARIZONA DOT AT LEAST 2 WEEKS BEFORE ANY EXCAVATION
ARIZONA811
CALL 811 OR VISIT ARIZONA811.COM

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

PROJECT NAME:
PARK LUCERO EAST

HE NO.: TREM003
SCALE: 1"=50'

SHEET:
C2

MATCHLINE SEE SHEET C2

PARK LUCERO IV LP
3856 SOUTH MUSTANG DR
DEED NO. 160809605 M.C.R.

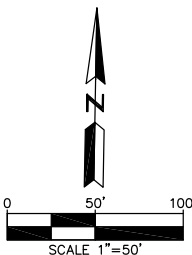
PARK LUCERO
340 EAST GERMANN ROAD
DEED NO. 140147642 M.C.R.

S. MUSTANG DRIVE

PROPOSED BUILDING B
FF=1256.70

PROPOSED BUILDING A
FF=1256.70

E. GERMANN ROAD



APN 304-55-417
GERMANN ROAD LAND
DEVELOPMENT LLC
578 EAST GERMANN ROAD
DEED NO. 080151943 M.C.R.

APN 304-55-417
GERMANN ROAD LAND
DEVELOPMENT LLC
578 EAST GERMANN ROAD
DEED NO. 080151943 M.C.R.

APN 304-55-419
GERMANN ROAD LAND
DEVELOPMENT LLC
576 EAST GERMANN ROAD
DEED NO. 080151943 M.C.R.

APN 304-55-421
GERMANN ROAD LAND
DEVELOPMENT LLC
566 EAST GERMANN ROAD
DEED NO. 080151943 M.C.R.

APN 304-55-422
GERMANN ROAD LAND
DEVELOPMENT LLC
560 EAST GERMANN ROAD
DEED NO. 080151943 M.C.R.

BASIN 4
HW=53.00
BOT=51.00
VP=9.883CF
VPR=39.897CF
1 DRYWELL

BY: _____
REVISION: _____
DATE: _____
NO.: _____

PURPOSE:
2ND CONCEPT SUBMITTAL

DESIGN BY: BKS
DRAWN BY: MM
CHECKED BY: BKS

CIVIL AND SURVEY

HUNTER
ENGINEERING
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

49630
BRIAN K. SCHILTZ
11/2025

CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
PARK LUCERO EAST
NEC GERMANN ROAD MUSTANG DRIVE
GILBERT, ARIZONA

CONTACT ARIZONA SITE AT LEAST 2 HOURS BEFORE YOU BEGIN EXCAVATION
ARIZONA811
CALL 811 OR VISIT ARIZONA811.COM

THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:
**PARK LUCERO
EAST**

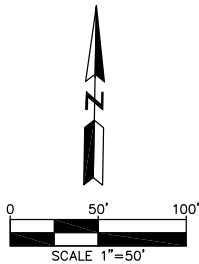
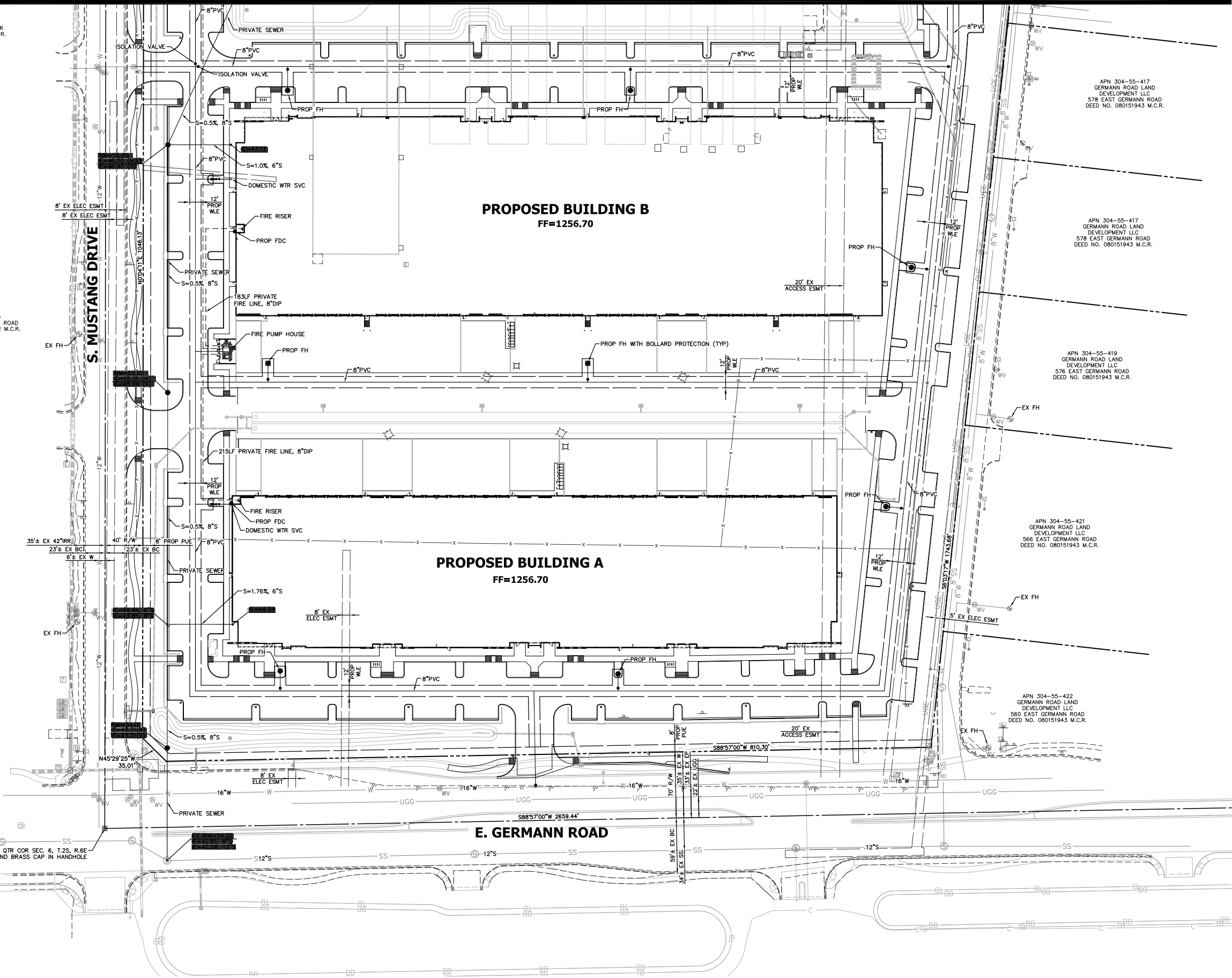
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SCALE: 1"=50'

SHEET:
C3

MATCHLINE SEE SHEET C4

PARK LUCERO IV LP
3856 SOUTH MUSTANG DR
DEED NO. 160809605 M.C.R.

PARK LUCERO
340 EAST GERMANN ROAD
DEED NO. 140147642 M.C.R.



NO.	DATE	REVISION	BY

PURPOSE:
2ND CONCEPT SUBMITTAL

DESIGN BY: BKS
DRAWN BY: MM
CHECKED BY: BKS

HUNTER
ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET,
SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



CONCEPTUAL UTILITY PLAN
FOR
PARK LUCERO EAST
NEC GERMANN ROAD MUSTANG DRIVE
GILBERT, ARIZONA

CONTACT ARIZONA SITE AT LEAST 2 FULL
WORKING DAYS BEFORE YOU BEGIN EXCAVATION
ARIZONA811
CALL 811 OR VISIT ARIZONA811.COM

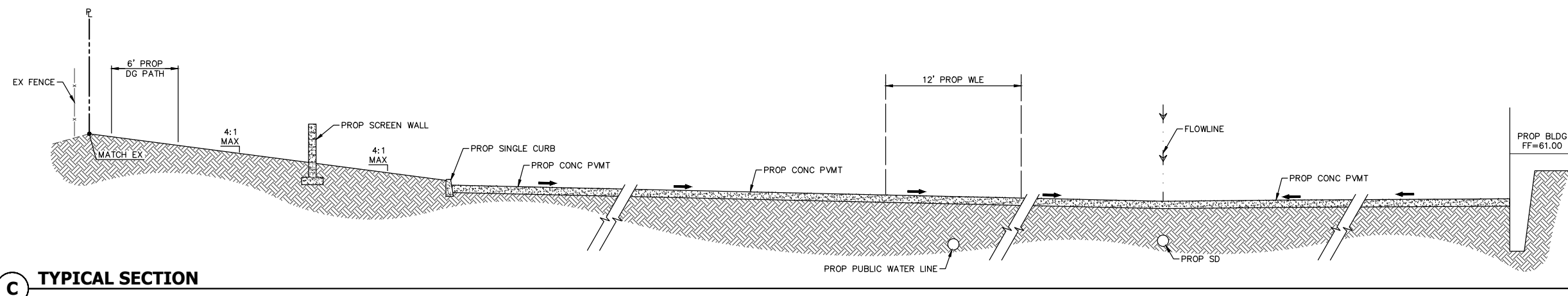
THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:
PARK
LUCERO
EAST

HE NO.: TREMO03

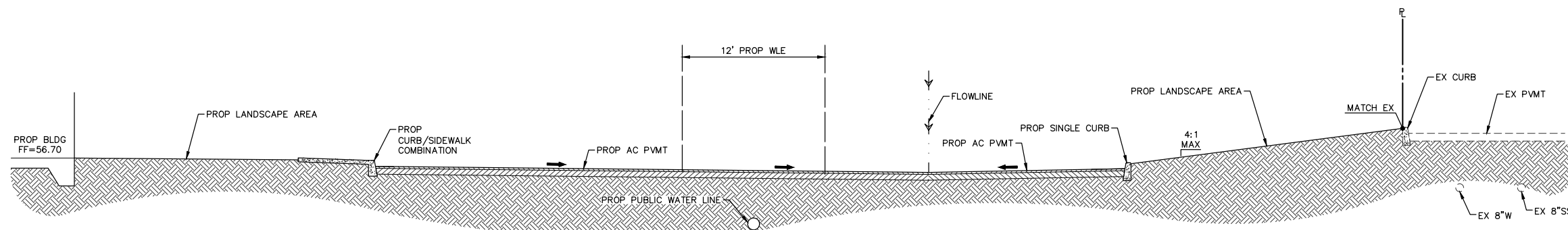
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SHEET:
C5



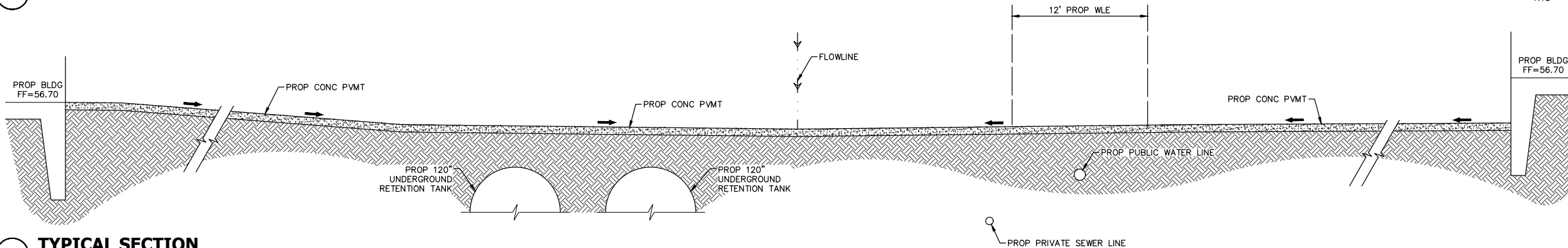
C TYPICAL SECTION

NTS



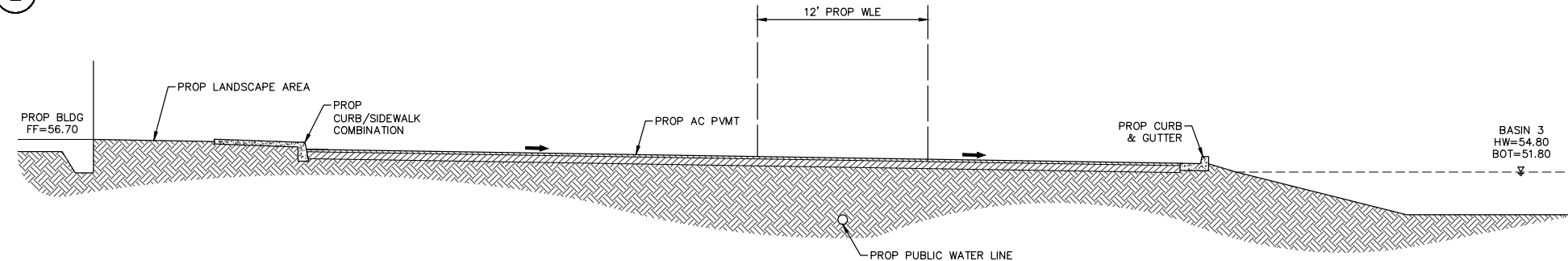
D TYPICAL SECTION

NTS



E TYPICAL SECTION

NTS



F TYPICAL SECTION

NTS

NO.	DATE	REVISION	BY

DESIGN BY: BKS
DRAWN BY: MM
CHECKED BY: BKS

HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



**TYPICAL SECTIONS
FOR
PARK LUCERO EAST
NEC GERMANN ROAD MUSTANG DRIVE
GILBERT, ARIZONA**

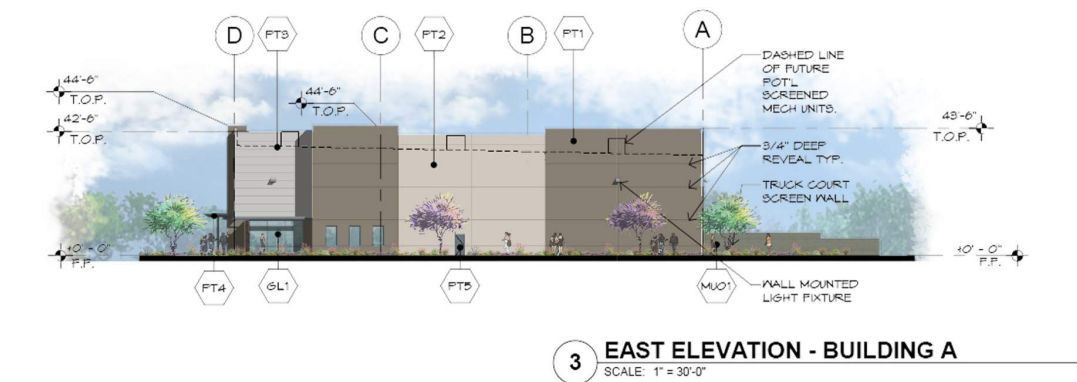
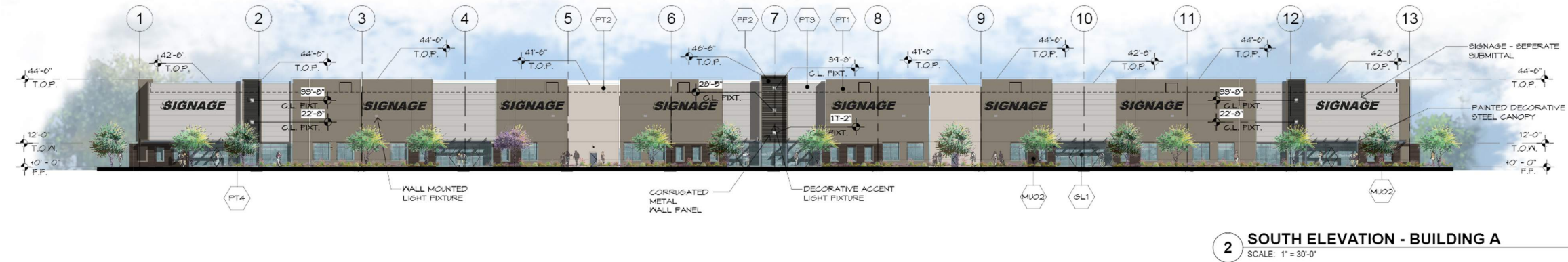
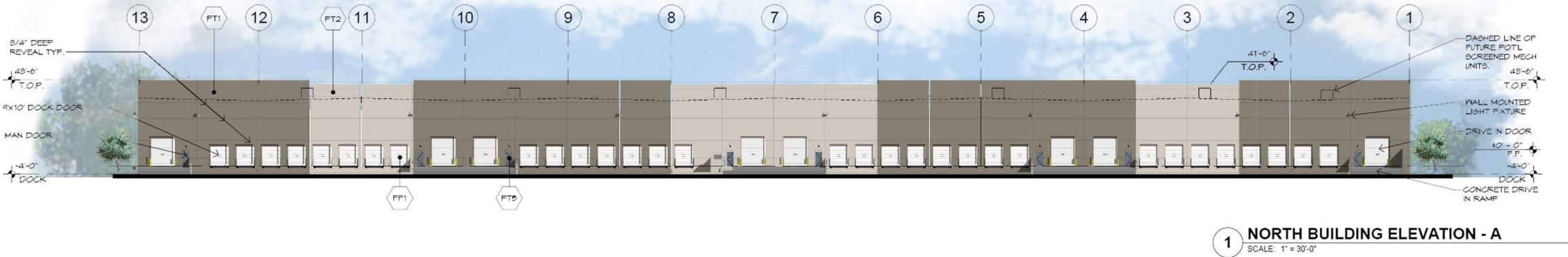


THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY.

PROJECT NAME:
PARK
LUCERO
EAST

HE NO.: TREM003
SCALE: NTS

SHEET:
C6



MATERIAL / COLOR SCHEDULE					#
MARK	DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS
PP1	OVERHEAD DOOR	FACTORY FINISH "WHITE"	T.B.D.	T.B.D.	OVERHEAD DOOR
PP2	STEEL ELEMENTS	FACTORY FINISH/SALV.	T.B.D.	T.B.D.	CORRUGATED METAL DECK
SL1	GLASS	TINTED "GREY"	T.B.D.	T.B.D.	
MU01	PANED CMU	ANONYMOUS	SNY046	SHERWIN WILLIAMS	8x8x16 CONCRETE MASONRY UNITS
MU02	PANED CMU	BEAR IN MIND	DE6042	DUNN EDWARDS	8x8x16 CONCRETE MASONRY UNITS
PT1	PAINT	ANONYMOUS	SNY046	SHERWIN WILLIAMS	TILT-UP CONCRETE
PT2	PAINT	PIGEON GRAY	DE6214	DUNN EDWARDS	TILT-UP CONCRETE
PT3	PAINT	MINERS DUST	DEC706	DUNN EDWARDS	TILT-UP CONCRETE
PT4	PAINT	WHARP VIEW	DEC799	DUNN EDWARDS	STEEL ELEMENTS
PT5	PAINT	WHARP VIEW	DEC799	DUNN EDWARDS	HOLLOW METAL DOORS

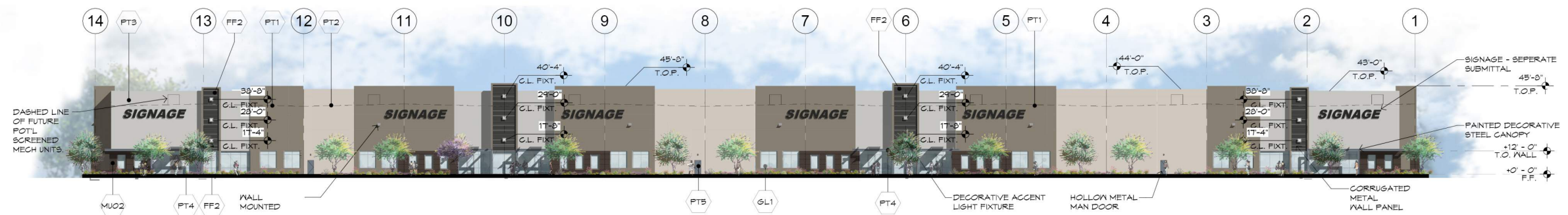


PARK LUCERO EAST
GERMANN ROAD
GILBERT, ARIZONA

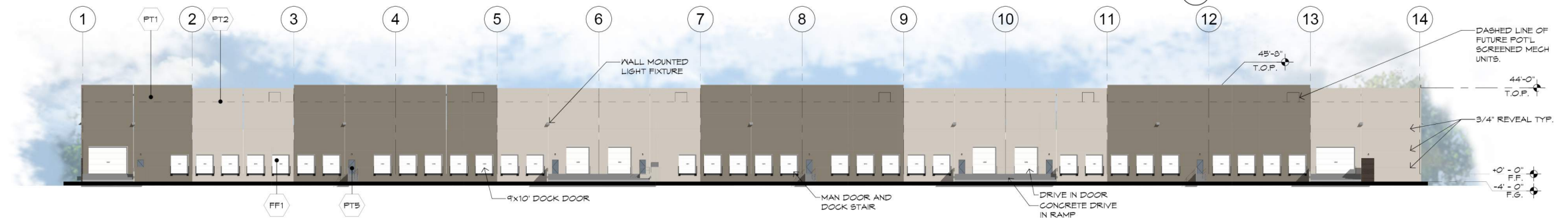
12.2020
20004



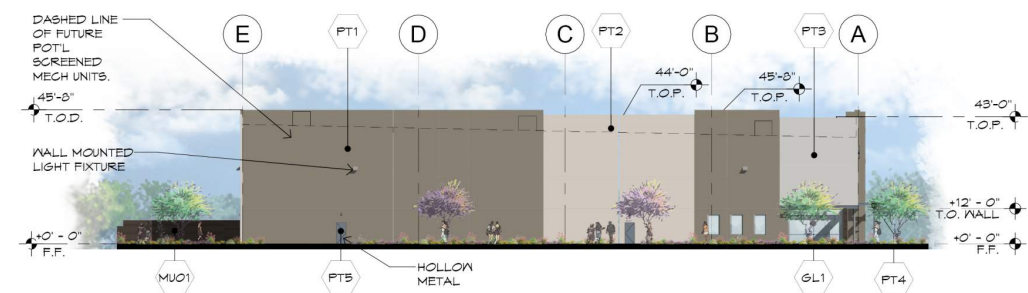
Butler Design Group, Inc
architects & planners



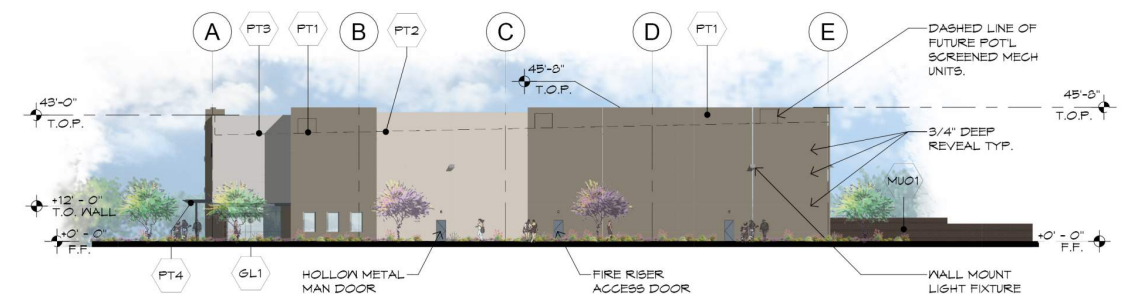
1 NORTH ELEVATION - BUILDING B
SCALE: 1" = 30'-0"



2 SOUTH ELEVATION - BUILDING B
SCALE: 1" = 30'-0"



3 EAST ELEVATION - BUILDING B
SCALE: 1" = 30'-0"



4 WEST ELEVATION - BUILDING B
SCALE: 1" = 30'-0"

MATERIAL / COLOR SCHEDULE

MARK DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS
FF1 OVERHEAD DOOR	FACTORY FINISH "WHITE"	T.B.D.	T.B.D.	OVERHEAD DOOR
FF2 STEEL ELEMENTS	FACTORY FINISH/GALV.	T.B.D.	T.B.D.	CORRUGATED METAL DECK
GL1 GLASS	TINTED "GREY"	T.B.D.	T.B.D.	
MUO1 PAINTED CMU	ANONYMOUS	SWT046	SHERWIN WILLIAMS	8x8x16 CONCRETE MASONRY UNITS
MUO2 PAINTED CMU	BEAR IN MIND	DE6042	DUNN EDWARDS	8x8x16 CONCRETE MASONRY UNITS
PT1 PAINT	ANONYMOUS	SWT046	SHERWIN WILLIAMS	TILT-UP CONCRETE
PT2 PAINT	PIGEON GRAY	DE6214	DUNN EDWARDS	TILT-UP CONCRETE
PT3 PAINT	MINERS DUST	DEC786	DUNN EDWARDS	TILT-UP CONCRETE
PT4 PAINT	WHARF VIEW	DEC799	DUNN EDWARDS	STEEL ELEMENTS
PT5 PAINT	WHARF VIEW	DEC799	DUNN EDWARDS	STEEL ELEMENTS

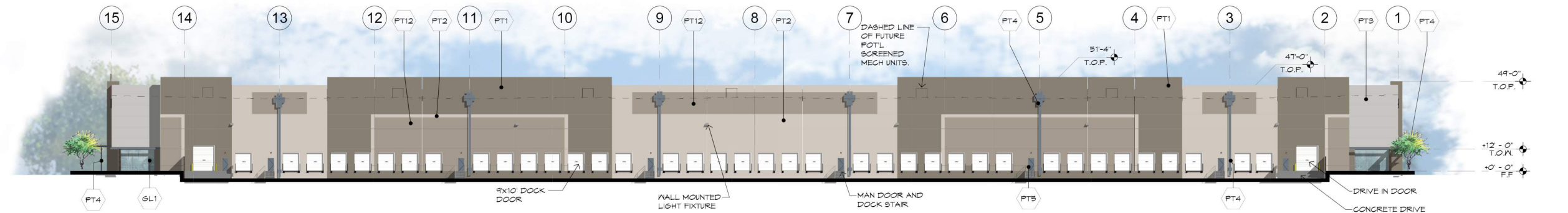
Trammell Crow Company

PARK LUCERO EAST
GERMANN ROAD
GILBERT, AZ

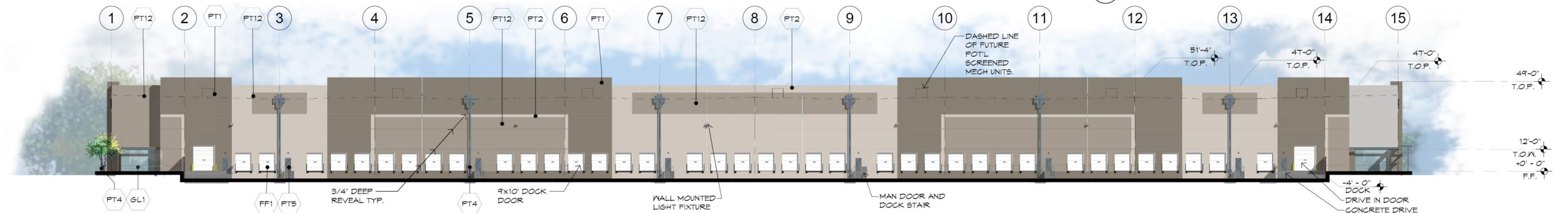


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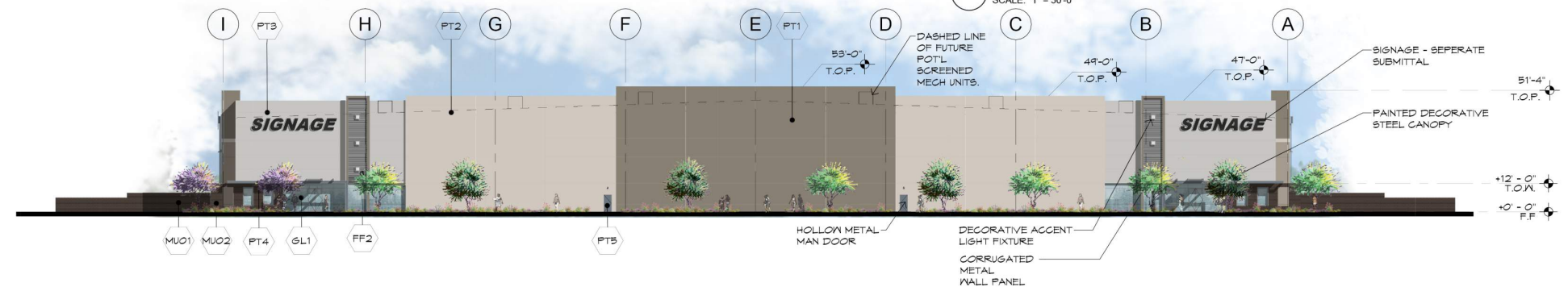
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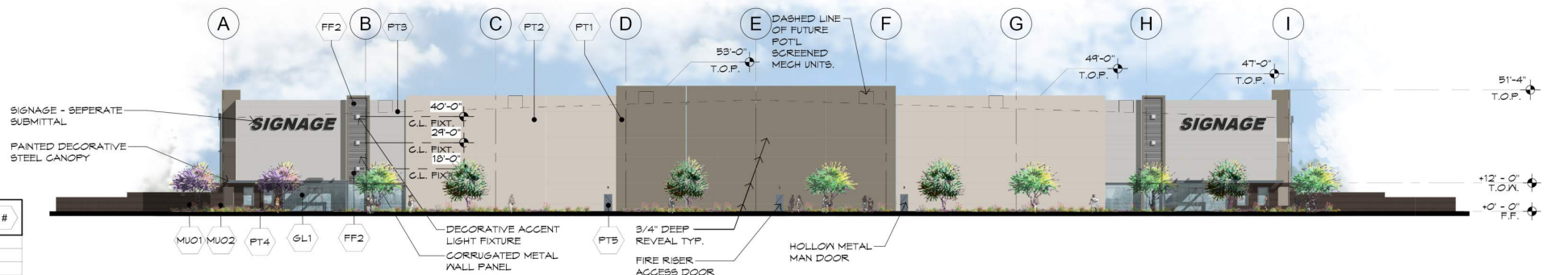
1 NORTH ELEVATION - BUILDING C
SCALE: 1" = 30'-0"



2 SOUTH ELEVATION - BUILDING C
SCALE: 1" = 30'-0"



3 EAST ELEVATION - BUILDING C
SCALE: 1" = 30'-0"



4 WEST ELEVATION - BUILDING C
SCALE: 1" = 30'-0"

MATERIAL / COLOR SCHEDULE

MARK	DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS
FF1	OVERHEAD DOOR	FACTORY FINISH "WHITE"	T.B.D.	T.B.D.	OVERHEAD DOOR
FF2	STEEL ELEMENTS	FACTORY FINISH/GALV.	T.B.D.	T.B.D.	CORRUGATED METAL DECK
GL1	GLASS	TINTED "GREY"	T.B.D.	T.B.D.	
MU01	PAINTED CMU	ANONYMOUS	SMT046	SHERWIN WILLIAMS	8x8x16 CONCRETE MASONRY UNITS
MU02	PAINTED CMU	BEAR IN MIND	SMT046	SHERWIN WILLIAMS	8x8x16 CONCRETE MASONRY UNITS
PT1	PAINT	ANONYMOUS	SMT046	SHERWIN WILLIAMS	TILT-UP CONCRETE
PT2	PAINT	PIGEON GRAY	DE6214	DUNN EDWARDS	TILT-UP CONCRETE
PT3	PAINT	MINERS DUST	DEC786	DUNN EDWARDS	TILT-UP CONCRETE
PT4	PAINT	WHARF VIEW	DEC799	DUNN EDWARDS	STEEL ELEMENTS
PT5	PAINT	WHARF VIEW	DEC799	DUNN EDWARDS	HOLLOW METAL DOORS
PT12	PAINT	BARNWOOD GRAY	DET620	DUNN EDWARDS	TILT-UP CONCRETE

TrammellCrowCompany

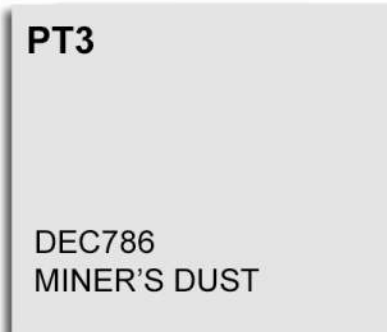
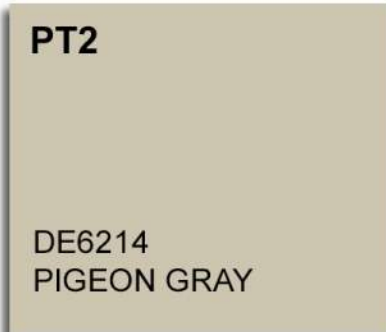
PARK LUCERO EAST
GERMANN ROAD
GILBERT, ARIZONA



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20004

PAINT COLORS By Dunn Edwards, Sherwin Williams



CLEAR ANODIZED ALUMINUM
WINDOW FRAME
BLUE/GRAY REFLECTIVE GLASS

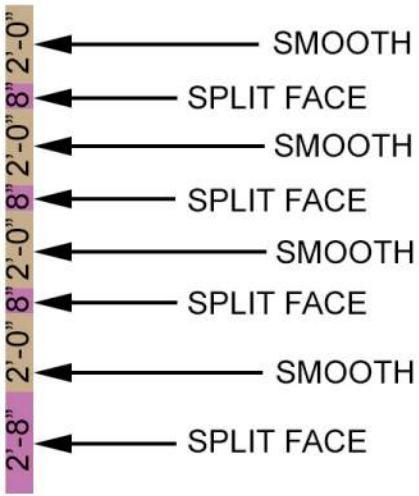
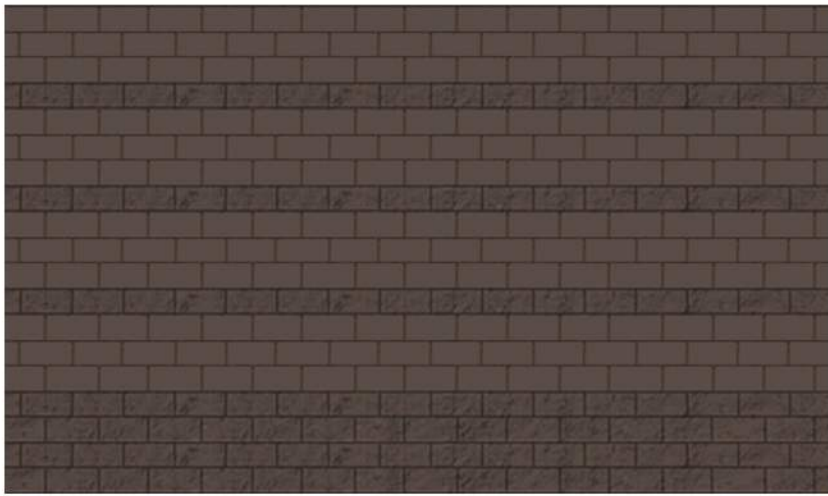


COLORED CONCRETE By Davis



BOX RIB METAL PANEL
GALVANIZED

MU02

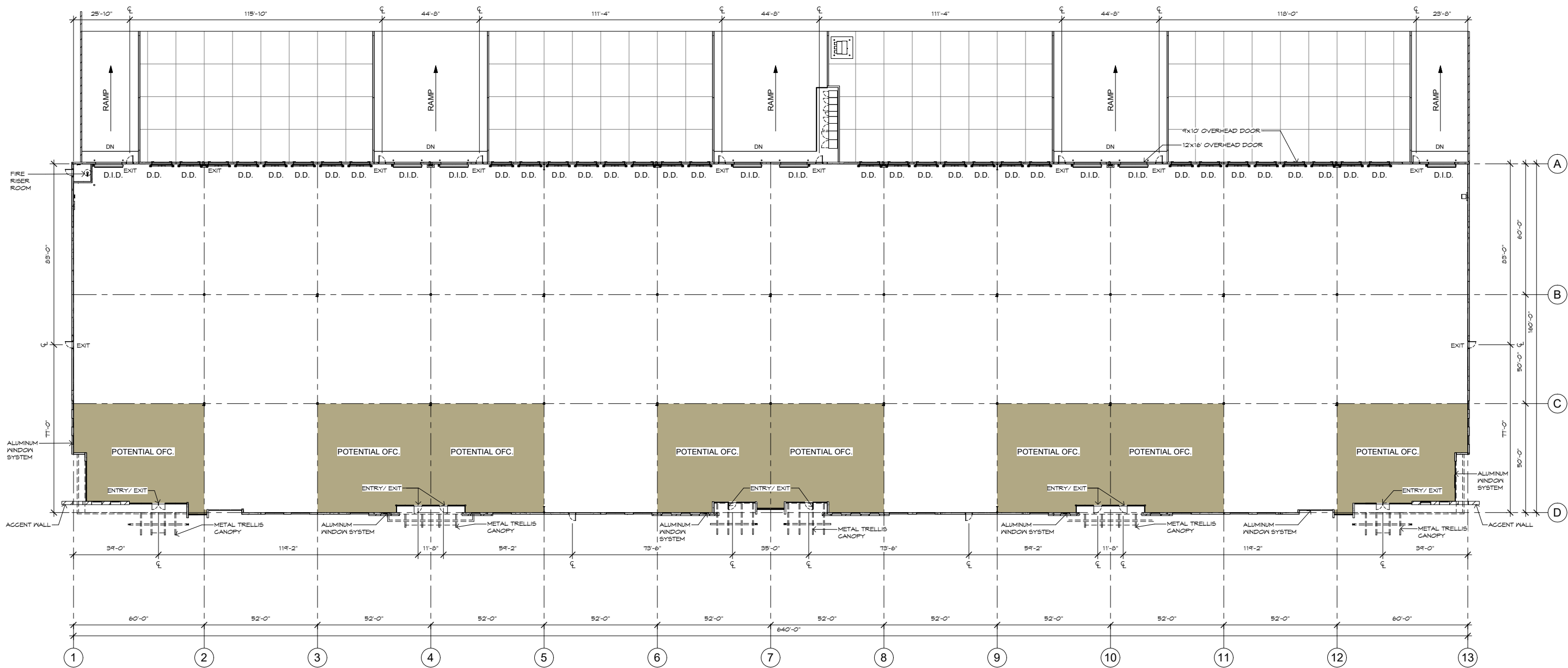


8X8X16 CMU, RUNNING BOND,
VARIED COURSING OF SPLIT
FACE AND SMOOTH TEXTURES

DE6042
BEAR IN MIND



PARK LUCERO EAST
GERMANN ROAD
GILBERT, ARIZONA



1 FLOOR PLAN BUILDING - A
SCALE: 1" = 20'-0"

10' 20' 40'
SCALE: 1" = 20'

11.2020
20004

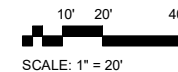


TrammellCrowCompany

PARK LUCERO EAST
GERMANN ROAD
GILBERT, ARIZONA



1 FLOOR PLAN BUILDING - B
SCALE: 1" = 20'-0"



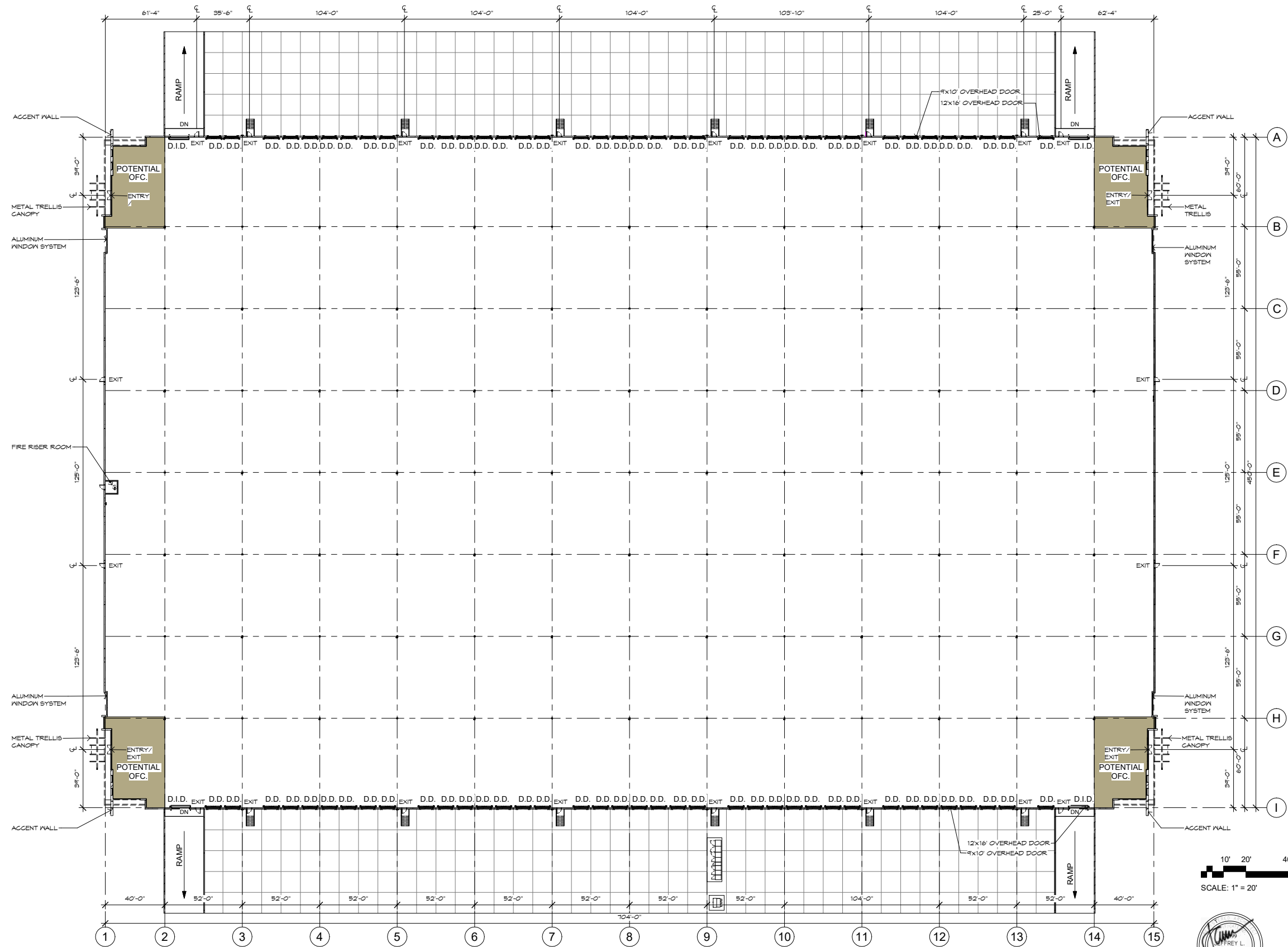
11.2020
20004



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TrammellCrowCompany

PARK LUCERO EAST
GERMANN ROAD
GILBERT, AZ



Trammell Crow Company

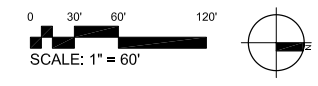
PARK LUCERO EAST GERMANN ROAD GILBERT, ARIZONA

1 FLOOR PLAN BUILDING - C
SCALE: 1" = 30'-0"



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11.2020
20004



MUSTANG DR.

GERMANN ROAD

RIATA STREET

BUILDING A
102,000 S.F.
30' CLR.

BUILDING B
143,000 S.F.

BUILDING C
316,000 S.F.
36' CLR.

SITE LIGHTING PLAN

SCALE: 1"=60'-0"

PARK LUCERO EAST

GERMANN ROAD
GILBERT, AZ

Trammell Crow Company

McGraw Consulting Engineers, Inc.
ELECTRICAL ENGINEERING
20045 N. 19TH AVE. BLDG. 10 SUITE #2
PHOENIX, ARIZONA 85027
PHONE (602) 331-0114
FAX (602) 331-0114
MRI JOB #: 20061



E0.1



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09.2020
20004-ST12

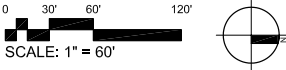
MUSTANG DR.

GERMANN ROAD

RIATA STREET

Schedule	Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	Lumen Multiplier	LLF	Voltage	COLOR
	SA	40	40	Ultralume Lighting	W0564-LED-PH-T50CR	W0564-LED-PH-T50CR Re 40K		1	20981	1	0.91	185.23	BROWN
	SB	4	4	Ultralume Lighting	DSX1-LED-PH-40K-T5W	DSX1-LED-PH-40K-T5W MVOLT with housecode 11441	LED	1	25014	1	0.91	207	BROWN
	SC	6	6	Ultralume Lighting	DSX1-LED-PH-40K-T4M	DSX1-LED-PH-40K-T4M MVOLT with housecode 11441	LED	1	23740	1	0.91	207	BROWN
	SD	19	19	Ultralume Lighting	DSX1-LED-PH-40K-T3W	DSX1-LED-PH-40K-T3W MVOLT with housecode 11441	LED	1	19090	1	0.91	207	BROWN
	SE	7	7	Ultralume Lighting	DSX1-LED-PH-40K-T4M	DSX1-LED-PH-40K-T4M MVOLT with housecode 11441	LED	1	18424	1	0.91	207	BROWN
	EM	69	69	Ultralume Lighting	APF-FCT	APF premium FCT forward throw	LED, Forward throw	1	451	1	0	5.45	BROWN
	SF	10	10	Outdoor Architectural Lighting	EV06-4015-AR-MVD-LS	EV06-4015-AR-MVD-LS 4000K, 1500LM, MED-MODE, DIRT-CLEAN, BEAMSPOT		1	1415	1	0.91	14.7	

Statistics	Symbol	Avg	Max	Min	Max/Mh	Avg/Mh
PROPERTY LINE @ 5'	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
SITE	+	1.6 fc	9.3 fc	0.0 fc	N/A	N/A



09.2020
20004-ST12

SITE PHOTOMETRIC PLAN
SCALE: 1"=60'-0"

PARK LUCERO EAST

GERMANN ROAD
GILBERT, AZ



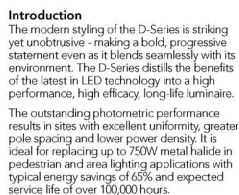
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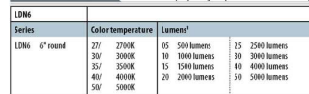
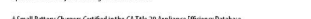


WORLDWIDE			EUROPE			SHIPPED MODELS			SHIPPED SPECIALTY			
P1	P4	40K 2000K	P2	P5	400K	R2	R5	TYPE 2	S2M	S5M	AWS	3rd/4th Architectural wall spacer
P2	P5	40K 400K	P3	P6	50K	R3	R6	TYPE 3	ICW	ICW	P88W	Surface-mounted back box (top, left, right conduit entry)
P3	P6	50K 500K				R4	R7	TYPE 4				
						RFT		Forward Throw				

Accessories		NOTES
Ordered and shipped separately		
WDG6AHS D00KE U	WEDGE 3/8" Back Architecture Wall Spacer (specify finish)	1 347V and 480V not available with DS.
WDG6AHS D00KE U	WEDGE surface-mounted back box (specify finish)	2 PE not available in 480V and with sensors/controls.
		3 DS and DWG not available with sensors/controls.
		4 Not qualified for DLC. Not available with emergency battery backup.



DSX1 LED									
Series	LEDs	Color temperature		Distribution		Voltage		Mounting	
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9	30K 50K	3000 L 4000 L	T15 T58	Type II (short (short/round)) Type II (short)	T59S T55	Type I (very short) Type I (short)	NIPT ¹	Shipped included
				T58	Type I (medium)	T58	Type I (medium)	120°	SPA SPA
				T26	Type I (medium)	T26	Type I (medium)	120°	SPA SPA
	Rotated optics P10 ¹ P12 ¹ P13 ¹ P15 ¹			T58	Type II (short)	BLC	Brightest corner ²	277°	SPMA
				T58	Type II (medium)	T58	Type II (medium)	140°	SPMA
				T40L	Type II (medium)	RCOR	Right corner cable ²	344°	SPMA
				T16M	Forward medium		Right corner cable ²	40L°	SPMA
					Type II (medium)				SPMA

[illegible][illegible]

September 23, 2020



PROJECT NARRATIVE
PARK LUCERO - EAST

This project will consist of a total of three industrial buildings and associated site work developed by Trammell Crow Company.

The project is intended to be an extension of the previous Park Lucero phases completed across Mustang drive. The goal is to create a similar site, with similar architecture matching the features from the previous project with the same colors, and style. The project fronts Germann road and borders Park Lucero to the west along Mustang drive. The landscaping will meet town of Gilbert standards and will match the Park Lucero project to the west completed by Trammel Crow back in 2014. Currently easements for the Crown Castle cell tower along the east side of the site are being formulated and will require some landscape modifications to meet easement requirements for access and power. The buildings consist of predominantly drive-in service doors and dock-high service doors for trucking. The site will utilize screen walls to block views of truck courts and parking. Building A and B are designed as rear loading dock hi buildings and their docks share a yard facing one another. The roof drainage for these buildings have been internalized to work with the site drainage to the north and compliment each other architecturally. Building C is a larger cross-dock building that matches much of the features of all the rear-load buildings in the previous Park Lucero project. the roof drainage for the project continued the architectural downspout theme that was provided on the original Park Lucero project to give the building architecture more color and relief. The site has been provided the minimum landscaping that again falls in line with what was done before on the sister project across Mustang drive. The amenity areas have been provided for each building that are complimentary to what was previously done.

All of the buildings will be constructed of tilt-up concrete with other textural materials, painted decorative metal accents, and fenestration. Rooftop mechanical units are future and will be fully screened by the building parapets from sight. The roof structure will be a panelized roof system.

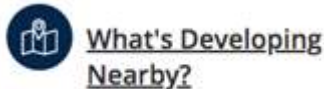
Sydney Bethel

From: Sydney Bethel
Sent: Monday, December 14, 2020 5:03 PM
To: Gaylon Watson
Subject: RE: DR20-144

Hello Gaylon,

Please see my responses below in [blue](#). The Traffic team provided the responses for the first two questions. Please let me know if you have additional questions.

Thanks,



From: Gaylon Watson [REDACTED]
Sent: Monday, December 14, 2020 10:28 AM
To: Sydney Bethel <Sydney.Bethel@GilbertAZ.gov>
Subject: RE: DR20-144

Hello Sydney

There are as many as seven right in / right out drive ways between Mustang and Eastern Canal, will U-Turns be allowed at the three Island openings?

[No, Gilbert, EB access \(West of Riata Street and East of Mustang Drive\).](#)

[Yes, first two driveways east of Gilbert, Mustang Drive, WB access \(West of Riata Street\), Silverado, Lindsay \(until dual lefts are needed\).](#)

Didn't the **Agreement with German Road Land Development** require them to develop the East 1/2 of Riata

Street with the stipulation that future developer of Town of Gilbert parcel would develop the West 1/2 of Riata.

[Based on how the Traffic Group interrupted the agreement, the developer isn't required to complete the ½ street of Riata. Since Riata Street is a private road and the developer is not utilizing the road for their development, it wasn't practicable for the Traffic Group to require the developer to complete the ½ street of Riata.](#)

4.6. South Riata Street. Buyer acknowledges and agrees that Buyer may be required at its sole cost and expense to install half-street improvements necessary to complete the west half of South Riata Street, which is a private street located along the eastern boundary of the Property. Buyer may also be required to dedicate to Seller certain easements over, upon, across and/or under the half-street alignment for South Riata Street located adjacent to the Property at the time of final plat recordation for the Property or at such other time as may be required by the Seller's Town Engineer.

Can a property with environmental problems be sold with the contamination, I thought the site would require remediation and ADEQ clearance prior to changing owners?

The new property owners will be responsible for all environmental remediation and can begin the remediation process following the close of escrow. For additional information on the environmental issues on site you can submit for a public records request for the Town completed studies on the site.

Is there a site plan for the Public Safety Training Facility that was previously planned for that site and how could I get a copy?

The previously planned Public Safety Facility that the land was originally purchased for did not make it past the preliminary design phase. A site plan of the proposed design and CIP plans can be request through a public records request if available. See link below.

<https://www.gilbertaz.gov/departments/clerk-s-office/public-records>

On December 1, 2020 at 2:42 PM Sydney Bethel <Sydney.Bethel@GilbertAZ.gov> wrote:

Hello Gaylon,

I apologize for the delay. I have include the responses to your questions below in red.

The project is being heard by the Planning Commission at Study Session tomorrow for comments (not approval hearing) so I have included a link to the staff report below if you were interested. Please let me know if you have any additional questions, thanks!

<https://www.gilbertaz.gov/Home/Components/Calendar/Event/7373/344>

**SYDNEY BETHEL**

Planner II | Town of Gilbert
90 E Civic Center Dr | Gilbert, AZ 85296
480.503.6721 | Sydney.Bethel@GilbertAZ.gov
M-Th 7am-6pm | Closed Fridays

**What's Developing
Nearby?**

From: Gaylon Watson [REDACTED]
Sent: Monday, November 30, 2020 10:11 AM
To: Sydney Bethel <Sydney.Bethel@GilbertAZ.gov>
Subject: RE: DR20-144

Sydney Bethel,
I manage/own property east of proposed Lucero East.
None of the driveways on German Road from Mustang to
Silverado Court align, has Town of Gilbert abandoned that
requirement.

All effort is be taken to align the proposed project full access intersection/driveways with existing intersections/driveways on the opposite side of the roadway thus avoiding creating offset intersection/driveways. When this cannot be achieved, Right in / right out access only will be allowed with median to be installed to prevent the left turn movements. Example Riata Street; this will just be a right in / right out access.

Did Town require 202 Business Park to develop East half of
Riata Street but Lucero East will not improve West half of Riata Street?

Riata Street is a private street and the new development doesn't plan to utilize this street. The agreement didn't require to install the half-street improvements on Riata Street.

What was the resolution to environmental contamination to Heliae
Property, Town of Gilbert property that required remediation? The
property sold as-is with discount?

The property is being sold as-is. The buyer will be responsible for all environmental remediation and can begin that process following the close of escrow, which is scheduled for January 11, 2021.

Melrose will not extend to Mustang from Silverado Court (apparently).

Correct.

On November 10, 2020 at 5:19 PM Sydney Bethel <Sydney.Bethel@GilbertAZ.gov> wrote:

Hello Gaylon,

May I ask what your interest is in the development ? The project is currently in 1st review so the site plan provided is from the 1st review and I also included the narrative for refence.

Please let me know if you have specific questions about the project. To request additional documentation please submit for a public records request. I have included the link below, thank you.

<https://www.gilbertaz.gov/departments/clerk-s-office/public-records>



SYDNEY BETHEL

Planner II | Town of Gilbert
90 E Civic Center Dr | Gilbert, AZ 85296
480.503.6721 | Sydney.Bethel@GilbertAZ.gov
M-Th 7am-6pm | Closed Fridays



**What's Developing
Nearby?**

From: Gaylon Watson [REDACTED]

Sent: Tuesday, November 10, 2020 3:04 PM

To: Sydney Bethel <Sydney.Bethel@GilbertAZ.gov>

Subject: DR20-144

Sydney Bethel

Provide information for Park Lucero East (DR20-144)

Site Plan Design

Sent from [Mail](#) for Windows 10



VIEW FROM INTERSECTION OF GERMANN ROAD AND MUSTANG DRIVE

APPROVED
Design Review Board
DR14-11
Case # _____
Date 6/12/14
Subject to Conditions of Approval

Trammell Crow Company

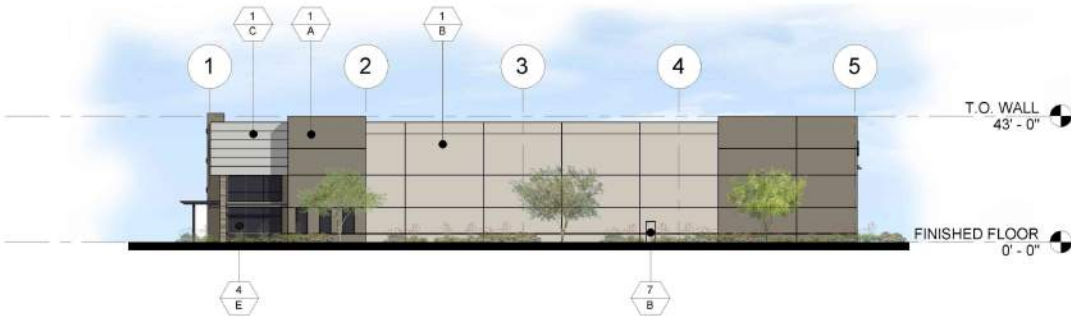
PARK LUCERO
270 EAST GERMANN ROAD (N.W.C. OF GERMANN ROAD AND MUSTANG DRIVE)
GILBERT, ARIZONA 85297

Bdg
Butler Design Group
Architects & Planners

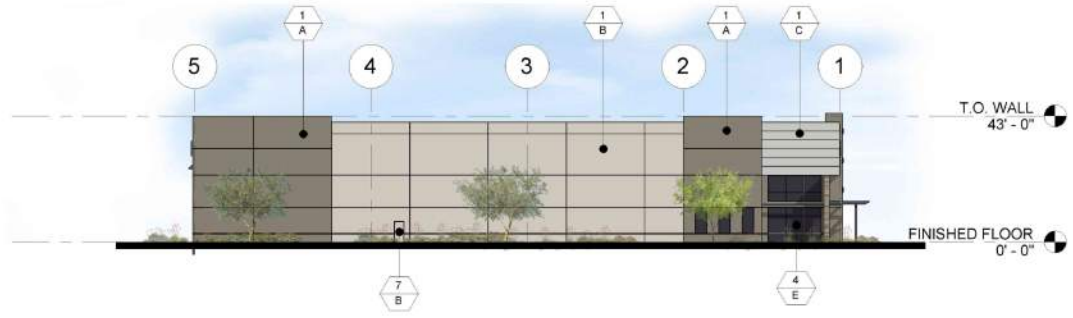
13172
03/27/14
Butler Design Group
Architects & Planners
5017 East Washington St.
Suite 107
Phoenix, Arizona 85034
phone 602-957-1800
fax 602-957-7722



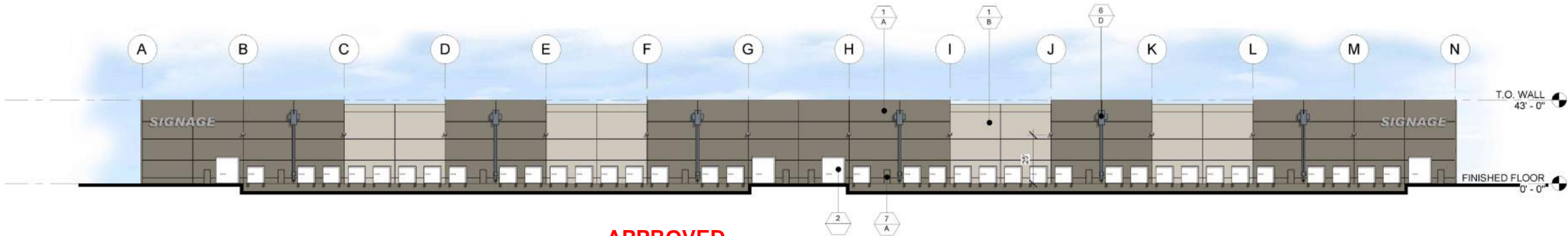
2 BUILDING A - NORTH ELEVATION
1" = 30'-0"



4 BUILDING A - WEST ELEVATION
1" = 30'-0"



1 BUILDING A - EAST ELEVATION
1" = 30'-0"



3 BUILDING A - SOUTH ELEVATION
1" = 30'-0"

APPROVED
Design Review Board
DR14-11
Case # _____
Date 6/12/14
Subject to Conditions of Approval

MATERIAL SCHEDULE

MATERIALS

- 1. TILT-UP CONCRETE
- 2. OVERHEAD DOORS
- 3. STEEL
- 4. INSULATED GLASS
- 5. STAIRS / RAILING
- 6. DOWNSPOUTS
- 7. HOLLOW METAL DOORS
- 8. ALUMINUM STOREFRONT FRAMES
- 9. CONCRETE MASONRY, VARIED BLEND
- 10. CORRUGATED GALVANIZED METAL

COLORS

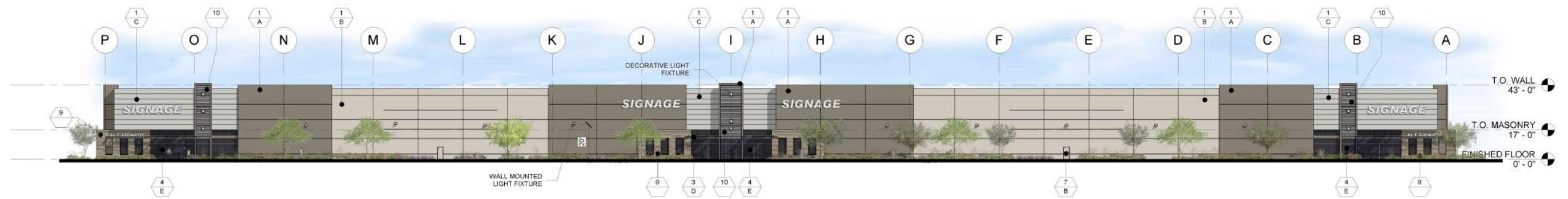
A	ANONYMOUS	SPY046	SHERWIN WILLIAMS
B	PIGION GRAY	DE6214	DUNN EDWARDS
C	MINER'S DUST	DEC166	DUNN EDWARDS
D	WHARF VIEW	DEC144	DUNN EDWARDS
E	CLEAR ANODIZED		
F	BLUE/GRAY GLASS		

Trammell Crow Company

PARK LUCERO
270 EAST GERMANN ROAD (N.W.C. OF GERMANN ROAD AND MUSTANG
DRIVE) GILBERT, ARIZONA 85297



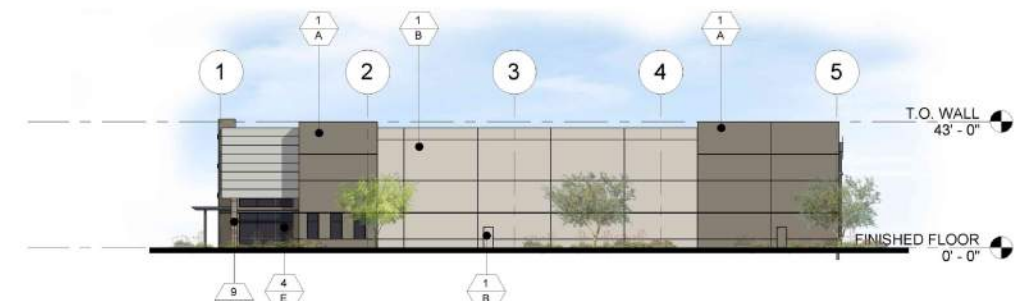
2014-05-27
13172
Bd
Butler Design Group, Inc.
architects & planners
EL-A



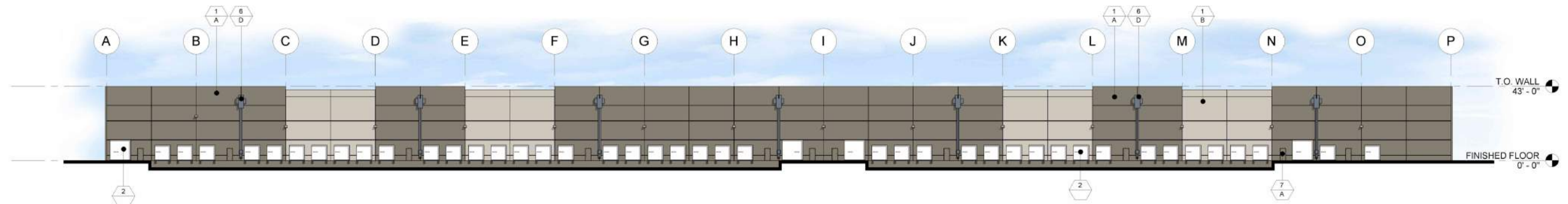
3 BUILDING B - EAST ELEVATION
1" = 30'-0"



5 BUILDING B - SOUTH ELEVATION
1" = 30'-0"



4 BUILDING B - NORTH ELEVATION
1" = 30'-0"



1 BUILDING B - WEST ELEVATION
1" = 30'-0"

APPROVED
Design Review Board
DR14-11
Case # _____
Date 6/12/14
Subject to Conditions of Approval

MATERIAL SCHEDULE

MATERIALS

- 1 TILT-UP CONCRETE
- 2 OVERHEAD DOORS
- 3 STEEL
- 4 INSULATED GLASS
- 5 STAIRS / RAILING
- 6 DOWNSPOUTS
- 7 HOLLOW METAL DOORS
- 8 ALUMINUM STOREFRONT FRAMES
- 9 CONCRETE MASONRY, VARIED BLEND
- 10 CORRUGATED GALVANIZED METAL

COLORS

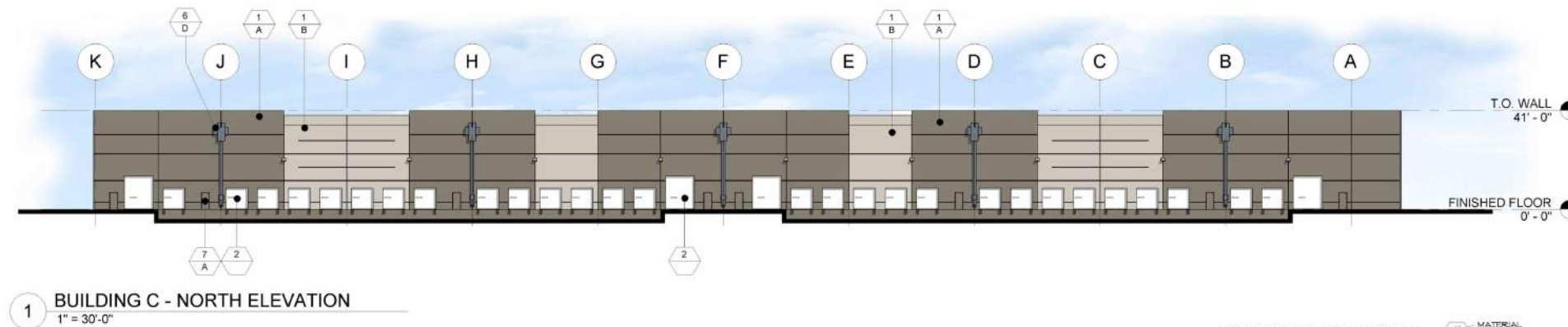
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B	PIGEON GRAY	DE6214	DUNN EDWARDS
C	MINER'S DUST	DEC106	DUNN EDWARDS
D	WHARF VIEW	DEC191	DUNN EDWARDS
E	CLEAR ANODIZED		
F	BLUE/GRAY GLASS		

Trammell Crow Company

PARK LUCERO
270 EAST GERMANN ROAD (N.W.C. OF GERMANN ROAD AND MUSTANG
DRIVE) GILBERT, ARIZONA 85297



2014-05-27
13172
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architects & planners
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APPROVED
Design Review Board
DR14-11
Case # _____
Date 6/12/14
Subject to Conditions of Approval

MATERIAL SCHEDULE

MATERIALS

- 1 TILT-UP CONCRETE
- 2 OVERHEAD DOORS
- 3 STEEL
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- 10 CORRUGATED GALVANIZED METAL

COLORS

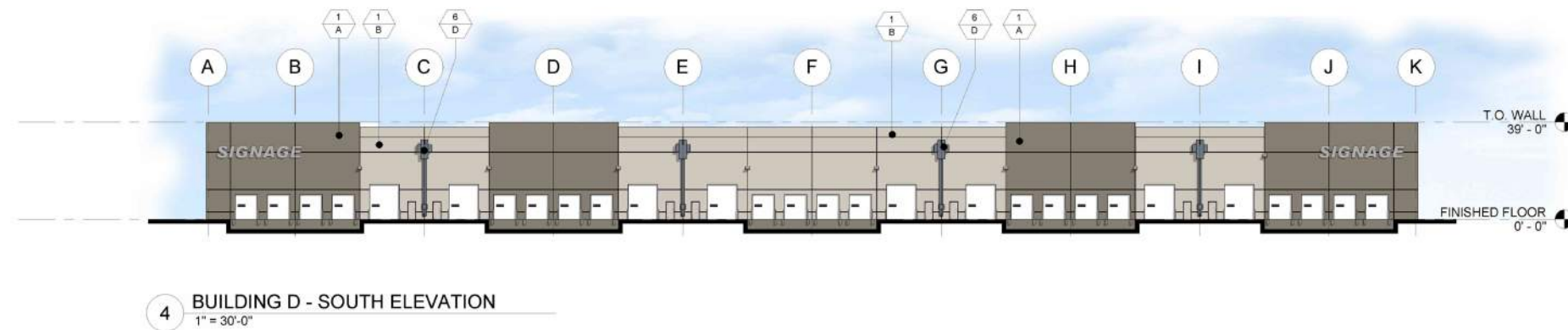
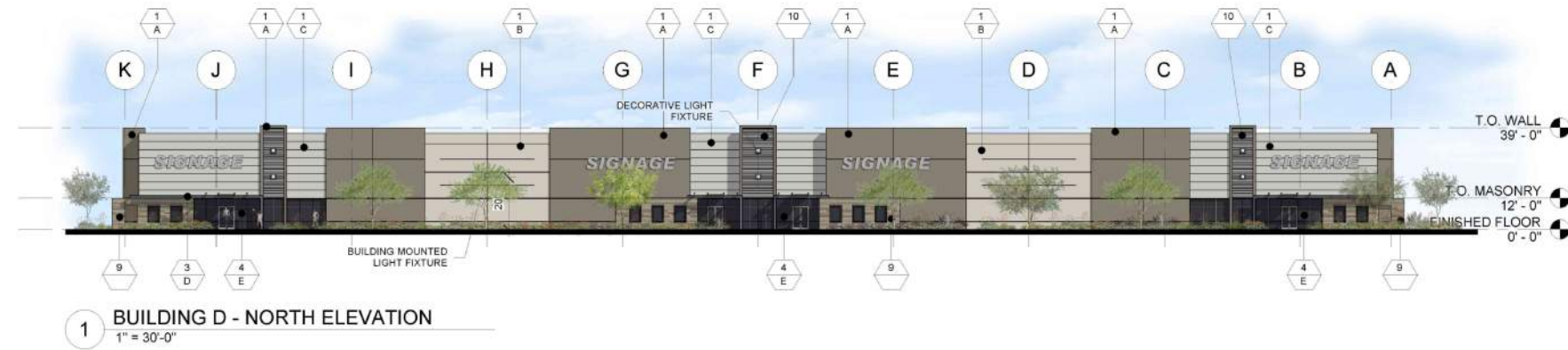
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B	PIGEON GRAY	DE6214	DUNN EDWARDS
C	MINER'S DUST	DEC100	DUNN EDWARDS
D	PHARF VEH	DEC799	DUNN EDWARDS
E	CLEAR ANODIZED		
F	BLUE/GRAY GLASS		

Trammell Crow Company

PARK LUCERO
270 EAST GERMANN ROAD (N.W.C. OF GERMANN ROAD AND MUSTANG
DRIVE) GILBERT, ARIZONA 85297



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APPROVED
Design Review Board
DR14-11
Case # _____
Date 6/12/14
Subject to Conditions of Approval

MATERIAL SCHEDULE

MATERIALS

- 1 TILT-UP CONCRETE
- 2 OVERHEAD DOORS
- 3 STEEL
- 4 INSULATED GLASS
- 5 STAIRS / RAILING
- 6 DOWNSPOUTS
- 7 HOLLOW METAL DOORS
- 8 ALUMINUM STOREFRONT FRAMES
- 9 CONCRETE MASONRY, VARIED BLEND
- 10 CORRUGATED GALVANIZED METAL

COLORS

A	ANONYMOUS	SW7046	SHERWIN WILLIAMS
B	PIGEON GRAY	DE6214	DUNN EDWARDS
C	MINER'S DUST	DEC106	DUNN EDWARDS
D	WHAFF VEX	DEC199	DUNN EDWARDS
E	CLEAR ANODIZED		
F	BLUE/GRAY GLASS		

Trammell Crow Company

PARK LUCERO
270 EAST GERMANN ROAD (N.W.C. OF GERMANN ROAD AND MUSTANG
DRIVE) GILBERT, ARIZONA 85297



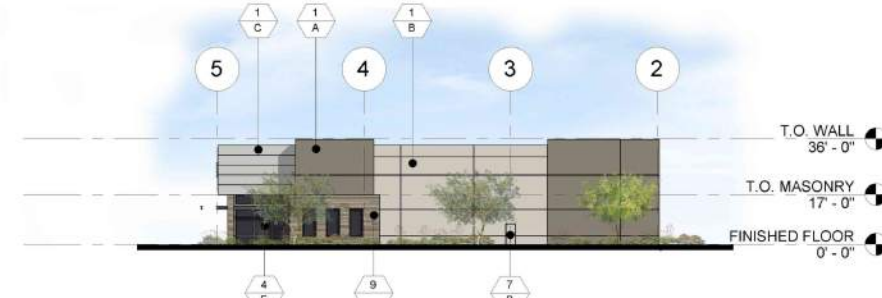
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EL-D



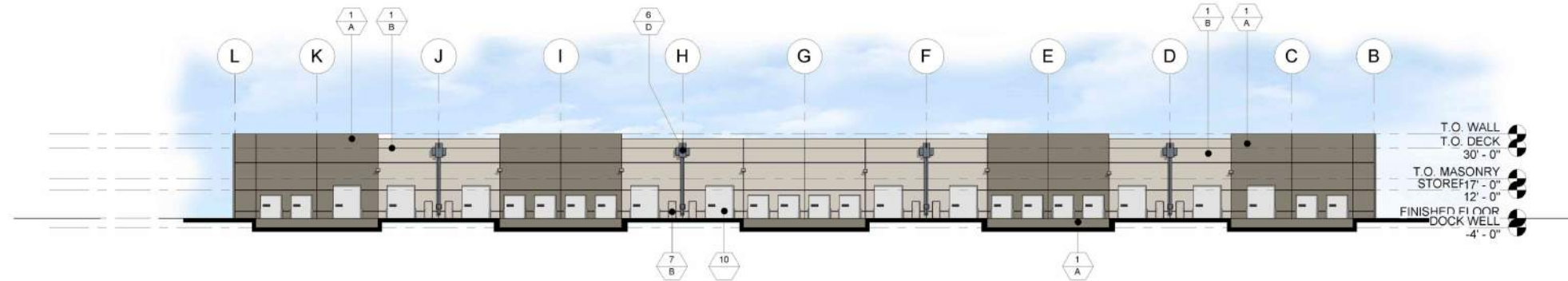
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1" = 30'-0"

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Design Review Board
Case # DR14-11
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MATERIAL SCHEDULE

MATERIALS

- 1 TILT-UP CONCRETE
- 2 OVERHEAD DOORS
- 3 STEEL
- 4 INSULATED GLASS
- 5 STAIRS / RAILING
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- 7 HOLLOW METAL DOORS
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COLORS

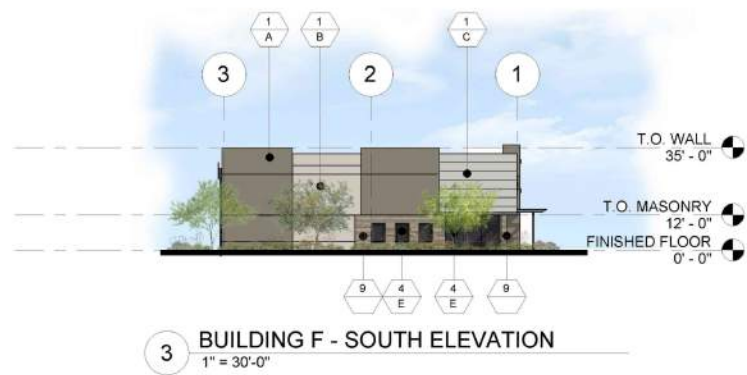
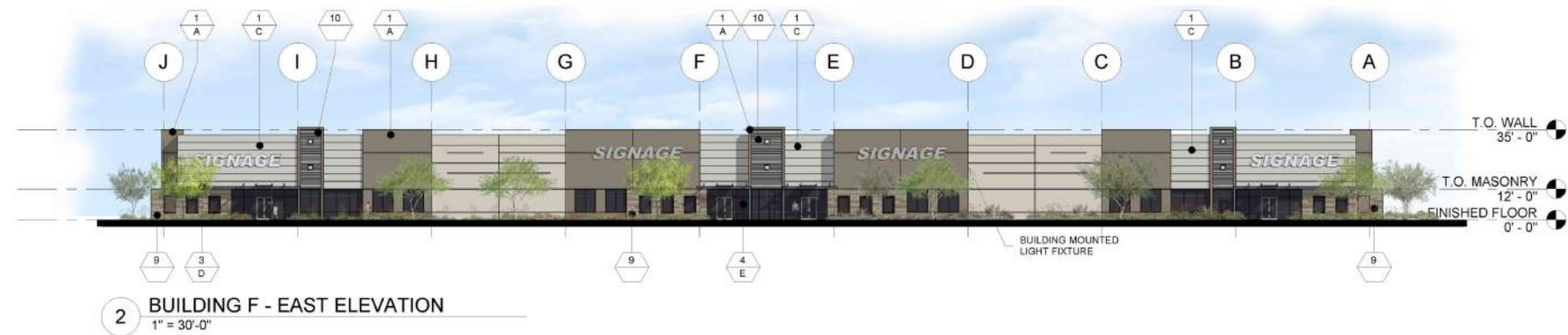
A	ANONYMOUS	SW7046	SHERWIN WILLIAMS
B	PIGEON GRAY	DE6214	DUNN EDWARDS
C	MINER'S DUST	DEC106	DUNN EDWARDS
D	WHARF VIEW	DEC104	DUNN EDWARDS
E	CLEAR ANODIZED		
F	BLUE/GRAY GLASS		

Trammell Crow Company

PARK LUCERO
270 EAST GERMANN ROAD (N.W.C. OF GERMANN ROAD AND MUSTANG
DRIVE) GILBERT, ARIZONA 85297



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APPROVED
Design Review Board
Case # DR14-11
Date 6/12/14
Subject to Conditions of Approval

MATERIALS		COLORS	
1	TILT-UP CONCRETE	A	ANONYMOUS
2	OVERHEAD DOORS	B	PIGEON GRAY
3	STEEL	C	MINER'S DUST
4	INSULATED GLASS	D	WHARF VEIL
5	STAIRS / RAILING	E	CLEAR ANODIZED
6	DOWNSPOUTS	F	BLUE/GRAY GLASS
7	HOLLOW METAL DOORS		
8	ALUMINUM STOREFRONT FRAMES		
9	CONCRETE MASONRY, VARIED BLEND		
10	CORRUGATED GALVANIZED METAL		

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PARK LUCERO
270 EAST GERMANN ROAD (N.W.C. OF GERMANN ROAD AND MUSTANG DRIVE) GILBERT, ARIZONA 85297

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8". They are also proposing to reduce the landscape setback along the southern boundary from 25' to 8'9". The variance request is driven by the fact that there is a 38' wide parcel that used to be owned by SRP with an irrigation ditch that provides additional separation from the residential.

The two-story office area and lobby will be on the east side with the warehouse component on the west side. The metal building is proposed at approximately 28' in height with windows, metal roofing and siding. The colors are grays and white. There will be two garage doors on the north elevation and one on the west elevation. No garage doors are permitted on the south elevation facing the residential. The lighting will produce zero foot-candles along all property boundaries except for the parking area.

The applicant has requested to move forward with CDs at Risk and is looking for approval from the Planning Commission.

COMMISSION QUESTIONS/COMMENTS

Commissioner Fay had no concerns on the southern boundary, particularly as it lines up with the existing buildings to the east and west, which he felt were packed into that space. The size and space are consistent with the rest of the neighborhood. He was not concerned at all about the irrigation ditch on the south side. He noted the drainage is stated as going to a common spot which is not specified. It looks like it drains to a manhole in the southeast corner. When this comes forward outside of Study Session, he would like to see the drainage addressed with some specificity. It could drain to the north into the empty lots that are probably not restricted and he did not want it to drain out to the street. He was not at all concerned about the requested setbacks, particularly on the south side.

Vice Chair Simon echoed Commissioner Fay's comments. Since it lines up with the buildings next door, he had no issues with the southern boundary. He liked the look of the building. It is fresh and a little bit different. He was excited to see the product go in.

Chair Bloomfield agreed with the prior comments. He liked the style, the use, and liked that there is a new project coming into this area that has been vacant for quite a while. It looks like it will be a great project and will bring a few more jobs for Gilbert.

2. DR20-144 PARK LUCERO EAST: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 36.7 acres, generally located at the northeast corner of Mustang Drive and Germann Road, and zoned Light Industrial (LI).

Commissioner Blaser stated he would abstain from the discussion on Item 2. DR20-144. Chair Bloomfield advised that he could remain on the dais as it was a Study Session item and there would be no vote.

Planner Sydney Bethel presented DR20-144 Park Lucero East located west of Lindsay and Germann Roads and directly south of the 202 freeway. This project is intended to be a mirror of the existing Park Lucero project developed in 2014 located directly west of the subject site. Staff is looking for general feedback from the Planning Commission regarding the elevations, allowing decorative lighting above 14' and allowing the applicant to proceed with Construction Documents at Risk.

The applicant is proposing three industrial shell buildings ranging from just over 100K SF to just over 300K SF for a total of over 500K SF of new industrial building area. Docking stations are located in the center of Buildings A and B and on the north and south sides of Building C. There is one main point of access off

Germann Road on the northern portion of the site. There will be five points of access off Mustang Drive that will align with the existing Park Lucero development to the west.

The applicant has provided ample landscaping at over 21%, above the requirement for the Light Industrial zoning district. Landscaping has been provided externally around the perimeter of the site and internally in a retention area. Two amenity areas for employees are located in the center of the retention area and on the west side of Building C. There will be a 15' compacted granite trail located along the 202 freeway as a continuation of an existing trail system that continues to the other Park Lucero site.

All of the buildings have the same colors and materials. Building A fronts onto Germann Road and will be the most visible building of the development. The applicant has revised some items based on staff's first review comments, including the articulation of the roofline and horizontal articulation of the pop-outs. The applicant increased the fine articulation of the front of Building A along Germann Road from a 2' projection above the roofline to 3' to 5' depending on the location. Building B and C were not modified during the second review and all of staff's comments regarding the elevations still stand. On Building C, the north elevation will be visible from the 202 freeway and there are some external downspouts on both the north and south elevations. This is something that is not permitted for commercial buildings but is permitted in some situations on industrial buildings. Staff would prefer if the downspouts were internalized due to the high visibility. Staff also recommended increased articulation of the roofline as well as additional horizontal articulation due to the visibility from the highway. The existing Park Lucero to the west was shown for comparison. It is very similar in design, colors and materials.

The LDC does not permit building-mounted lighting above 14', although the Design Review Board or Planning Commission may allow lighting to be above 14' as long as it meets two findings. Staff does support the proposed decorative lighting fixtures.

COMMISSION QUESTIONS/COMMENTS

Chair Bloomfield asked which of the two required findings would apply to the lighting request.

Ms. Bethel stated they are using the decorative lighting to accentuate architectural features of the building, the pop-outs and corrugated metal, which meets Finding A. Finding B states that the lighting shall not be placed on the side designated for residential use in the General Plan. The applicant is not proposing any lighting that would face residential and meets Finding B. It is an additional provision in the code that allows the applicant to pursue this with approval of the Commission.

Commissioner Andersen agreed with staff's comments on the articulation requested. He had no issue with the downspouts that are visible to the freeway. The light fixtures above 14' meet all of the findings.

Chair Bloomfield looked at the north side facing the freeway. It is a look we don't see anywhere else in the town on the freeway. In Park Lucero West, it is the front of the building where customers enter, where this will be back of house and filled with semi-trucks. There will be 8' site walls although it may be seen looking down from the freeway. His only question was whether it meets the guidelines and requirements of the town.

Commissioner Jones liked how the project on the west has developed. It is a great project given these are industrial/manufacturing buildings. He liked the changes to the roofline that staff and the applicant worked on. He would suggest doing something along the north side as well to make it look a little better, perhaps a better mix of materials to fit in better with the area. Overall, he felt the lighting made sense.

Ms. Bethel asked whether the Commission was comfortable with the applicant proceeding forward with CDs at risk, subject to the comments tonight being incorporated into that submittal.

Chair Bloomfield stated it was fine to proceed with CDs at Risk.

3. GP20-04 LAMB LANE: Request for Minor General Plan Amendment to change the land use classification of approx. 5.0 acres generally located west of the southwest corner of Val Vista and Ray Roads from Residential > 2-3.5 DU/Acre to Residential > 8-14 DU/Acre. The effect of this amendment will be to change the plan of development to allow increased density of residential development.

Z20-09 LAMB LANE: Request to rezone approximately 5.0 acres of real property generally located west of the southwest corner of Val Vista and Ray Roads from Single Family-35 (SF-35) zoning district to Multi-Family/Low (MF/L) zoning district with a Planned Area Development overlay zoning district (PAD) to modify maximum building height, minimum landscape setbacks and minimum common open space requirements. The effect will be to permit a multi-family housing development.

DR20-126 LAMB LANE: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 4.55 acres, generally located west of the southwest corner of Val Vista and Ray Roads, and pending zoned approval of Multi-Family/Low (MF/L) with a Planned Area Development (PAD) overlay.

Senior Planner Stephanie Bubenheim presented GP20-04 Lamb Lane with three separate cases, a Minor General Plan Amendment, rezone and Design Review. The approximately 5 acre infill site is located west of the southwest corner of Val Vista and Ray Roads and is one of the last sites in the general area to be developed. The southwest corner of Ray and Val Vista is currently under construction for Andalucia Villas and at the northeast corner of Val Vista and Ray Roads the Hampton Court is under construction with a similar product type. To the north across Ray Road is the Western Skies Golf Course and subdivision. To the west is an LDS church and the Spring Tree subdivision. To the southeast is the Ashland Ranch subdivision. Staff is requesting input on the zoning deviations, the overall colors, materials and styles of the units, the articulation of the west elevations, and the pavers. Staff's concern is that there be enough differentiation between the driving and pedestrian areas in the proposed courts of the units.

The existing land use is Residential 2-3.5 DU/Acre and the request is to increase the density to Residential 8-14 DU/Acre to fit the product type. The current zoning is SF-35 and the request is to rezone to Multi-Family/Low with a PAD for the deviations requested. The applicant is also proposing a development plan as part of the rezoning request. The main drive aisle will end in a cul-de-sac along the east side of the property with 41 units in four different buildings with amenity areas to the south.

The applicant is requesting deviations to change the height under MF/L from 36' to 24' and to limit the product to one story. There are no deviations being requested for building setbacks. The landscape setbacks on the east and south sides are requested to change from the 20' requirement to an 8' minimum on the east and a 6' minimum on the south. The reason for that request is that the main drive aisle ends in a cul-de-sac which enlarges the area to the southeast of the site. The distance from the eastern drive aisle to the property line is 17.5'. For a majority of the east side, they are showing a 17.5' wide landscape area. It is only at the cul-de-sac area that they are requesting to lower the setback. They are proposing a larger setback from the property line to the north along the frontage from 20' to 25' and from the west they are proposing a 25'